



# DESIGN CODE

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## NOTICE

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The Aragon Design Code is binding on all parties having an interest in any portion of the community and each owner is required to comply with the requirements set forth herein. This document may be updated or revised at any time. This version was prepared by Architectural Affairs, Inc., and printed August 1999.





# INTRODUCTION



## ARAGON OVERVIEW

Aragon is being built in accordance with a master plan and concept for living based on the best features of traditional neighborhoods from the past, including Pensacola's surrounding historic neighborhoods and Aragon's unique setting in downtown Pensacola, within viewing distance of Pensacola Bay.

The plan for Aragon establishes a pedestrian-oriented community with memorable parks and community sites, comfortable tree-lined streets and compelling vistas. The width of the streets, arrangement of trees, and the location of building fronts, have been carefully designed to work together to create the public space essential in establishing a neighborhood.

Aragon is designed to connect to the surrounding Historic District, downtown, Pensacola Bay, and area parks through a system of sidewalks, walkways, and streets, allowing for a variety of routes through the neighborhood. Aragon will have a neighborhood center, called Privateer's Alley, with a corner store and other shops that will serve the daily needs of the community. Alleys behind the buildings remove the clutter of driveways and utilities from the main streets and provide intriguing places for children's games. Carriage houses and outbuildings open onto alleys and provide additional space for rental or guest apartments, studios, or home-based offices.

In Aragon, there will be a variety of building types and uses, which provide a range of living options and a variety of activities just a short walk away. There are six different building types and each type may be built only on the lots designated for it on the Regulating Plan.

### Type I – Townhouse

This type is located along 9<sup>th</sup> Avenue and Privateer's Alley. These townhouses are modeled after buildings on Palafox Street and may be commercial, residential, or mixed use. Balconies on these 2 to 3-1/2 story buildings offer a view of Pensacola Bay. Lot sizes are approximately 29 feet wide by 120 feet deep.

### Type II – Cottage

This type borders the Historic District on Cevallos, Romana, and Florida Blanca Streets. Cottages south of Romana, within the Historic District, are residential, commercial, or both. North of Romana they are residential and can include limited office space. These are similar to the cottages located in the Historic District. Front porches complement these 1 to 2-1/2 story buildings. Lot sizes range from 38 to 40 feet wide by 109 feet to 154 feet deep.

### Type III – Park House

This type surrounds Crescent Park and overlooks the park and Romana Street. These 2 to 3-1/2 story buildings feature double galleried porches similar to the Dorr House on Seville Square. Wrought iron fences delineate the park's edge. Carriage houses, widows' walks, towers, dormers, and garden walls complement these grand buildings. They may be residential with or without limited office space, or bed and breakfast. Lot sizes are 40 to 50 feet wide by 125 feet deep.



#### Type IV – Sideyard House

This type has two variations: Type A (with alley access) is located on Aragon Street; Type B (with street access) is located on Santos Street and Florida Blanca Street. Inspired by Charleston's historic houses, these 1 to 2-1/2 story buildings are positioned lengthwise which makes the side yard the primary yard. A long porch runs along this side of the house. These can be residential or residential with limited office space. Lot sizes are 30 to 36 feet wide by 90 to 208 feet deep.

#### Type V – Small Cottage

This type surrounds Gathering Green park. These 2 to 2-1/2 story cottages have double galleried porches which allow for beautiful views over the park. Garden walls or outbuildings screen the parking at the rear from Gathering Green East or West (Street). These can be residential or residential with limited office space. Lot sizes are approximately 25 feet wide by 100 feet deep.

#### Type VI – Row House

This type is located on Aragon and Centros Streets. These 1 to 2-1/2 story row houses are reminiscent of those in southern downtowns. They have a front porch or balcony, and at the rear, they have intimate courtyards surrounded by the walls of the building and garden walls. These can be residential or residential with limited office space. Lot sizes range from 30 to 32 feet wide by 65 to 100 feet deep.

The creation of the Aragon community is a collaborative effort between the Aragon founders and those building in Aragon. The community space, streets, walkways, and parks are established in part by the placement and design of the individual homes and buildings within the community.

The Aragon Design Code provides detailed standards and guidelines regulating siting, use, heights, building materials, and other matters essential for creating a visually harmonious community while also allowing for creative expression and variety. These requirements vary according to different building types. In order to ensure that buildings in Aragon are built in accordance with the Design Code, each building will go through a review process, starting with early design sketches and going through construction documents. A final inspection will also take place at the construction site to ensure that buildings have been built according to approved plans.

The hope of the Aragon founders is that Aragon will provide that which is essential for community – a sense of place that enhances the lives of those in Aragon.



## HOW TO USE THE ARAGON DESIGN CODE

The prime purpose of the Aragon Design Code is to guide the design and building process in order to assure that Aragon is developed as a visually harmonious and coherent community. The regulations within the Design Code apply to both new construction and renovation or addition to existing structures.

The layout of this code has been conceived to support the architect and design professional as well as the owner. Within this code, many issues have been addressed which will face the owner. By familiarizing oneself with these issues, one can best participate in creating the physical expression of community envisioned by the Aragon founders.

### Code Organization

Following in this section, there is a list a key definitions. This list is made up of terms common to the design community, but not always obvious to the layperson. Additionally, words and phrases are defined which specifically relate to their use in the context of Aragon. Our hope is that a clear understanding of the terms will lead to a clear understanding of the concepts and regulations contained in this code.

Following “Definitions,” the code is divided into six sections:

### I. Architectural Styles

The purpose of this section is to identify and describe architectural styles approved for Aragon. This is not a finite list; other styles will be considered based on architectural merit and compatibility with approved styles. Those choosing one of the approved styles are encouraged to familiarize themselves with the style’s features and characteristics.

Several styles found in the local and regional area are identified, and each is analyzed as to building configuration, roofs, windows, doors, porches, decorative elements, and exterior materials. The described styles are:

- Colonial Revival & Neoclassical
- Victorian
- Italianate
- Craftsman
- Coastal Vernacular

In addition, the *Seville Historic District Guideline Study* is mentioned as a resource for designing buildings that are compatible with the Historic District.

### II. Architectural Standards

The Architectural Standards section of the code identifies and regulates specific architectural components of all buildings in Aragon. This section regulates many issues, ranging from acceptable materials to types of light fixtures that are approved for use at Aragon. The standards apply to both new construction and renovation or addition to existing structures. They are intended to set a benchmark for quality that must be maintained throughout the design and building process.

The primary categories of the Architectural Standards are:

- |                            |                 |
|----------------------------|-----------------|
| - Principal Buildings      | - Site Elements |
| - Outbuildings and Garages | - Miscellaneous |
| - Signs                    |                 |





Each of these categories is further broken down into smaller categories and then evaluated based on:

- 1) Materials.
- 2) Methods and Configurations.

### **III. Landscape Requirements**

The Landscape Requirements section is intended to coordinate the types and uses of landscaping materials in order to give the entire development a cohesive and community feel.

In the Landscape Requirements is a list of approved tree species. Tree species recommended for Aragon are identified based upon primarily native species.

### **IV. Regulating Plan**

The Regulating Plan is the starting point for evaluating a potential lot. By identifying the building type and location, the owner will be able to determine the other requirements which are applicable.

The plan itself is a graphic representation of the entire site showing each lot and defining the building type that will be allowed on the lot and any additional special requirements.

Building types include:

- Type I – Townhouse
- Type II – Cottage
- Type III – Park House
- Type IVA – Sideyard House with Alley Access
- Type IVB – Sideyard House with Street Access
- Type V – Small Cottage
- Type VI – Row House

Additionally, the Regulating Plan will identify the two overlying city zoning districts that have jurisdiction over the development area: the Historic District and the Gateway Redevelopment District. Maps of these zoning districts are found in the Urban Regulations section.

The Regulating Plan will also identify streets, alleys, sidewalks, street trees, street lights, and easements.

### **V. Urban Regulations**

The purpose of the Urban Regulations is to spell out the architectural and site parameters for all the building types identified in the Regulating Plan. The Urban Regulations apply to both new construction and renovation or addition to existing structures. In this section, each building type will be identified as to use, heights, parking requirements, siting for interior lots and corner lots, and architectural elements.

Two maps are included within this section to clarify some of the information in this section and on the Regulating Plan:

- 1) The Building Types Plan clarifies the location of each building type.
- 2) The Overlying City Zoning Plan describes the specific location of the overlying city zoning districts.

### **VI. Architectural Review Process**

The final section of the Aragon Design Code is the Architectural Review Process. This section spells out the process an owner will need to pursue in order to secure approval of proposed plans by the Aragon Architectural



Review Board. Accompanying this narrative are several forms with a built-in check list located in the Appendix. By utilizing these forms and the check lists, one is assured of a complete package.

The Architectural Review Process extends from the first submission of preliminary plans to the final inspection of the finished building.

Review of proposed plans by the city's Architectural Review Board and Gateway Review Board is summarized in this section.



## DEFINITIONS

The following section lists numerous terms and words used throughout the Aragon Design Code. Each term or word is defined to clarify its use as intended by the authors of the code.

**Alley:** Vehicular and utility access located to the rear of lots, opposite streets.

**Aragon Architectural Review Board (AARB):** Review board consisting of the neighborhood architect and two members appointed by the Aragon founders.

**Architectural Review Board (ARB):** Review board of the Historic District, established by the City of Pensacola.

**Architrave:** Lowest component of an entablature, derived from classical Greek examples. See illustration, p. 9.

**Balcony:** Second or third floor exterior space typically with no roof, cantilevered from the building or supported by columns.

**Balusters:** Vertical supports between top and bottom rails of a porch or stair railing.

**Balustrade:** The system of balusters and handrails that run along the edge of a porch or staircase.

**Bay:** Structural or visual configuration of an elevation commonly defined by porch columns. A bay can also be defined by the placement of multi-floor windows aligned over each other.

**Beam:** Structural member spanning between two columns or bridging an opening, supporting additional structure above.

**Bed and Breakfast:** Commercial venture involving the rental of up to four bedrooms on a short-term basis, with the inclusion of some meals prepared by the property owner for renters.

**Bracket:** Sloped building component found at the junction of columns to beams, sometimes serving to structurally stiffen the connection, though also commonly used as ornament. Brackets also occur as decorative and structural elements at gable rakes and as balcony supports.

**Brick Screens:** Brick garden walls used as visual screens to provide privacy at rear courtyards, screening areas from public view. Also found as infill between piers supporting a porch.

**Building Type:** Building configuration as defined by the Urban Regulations and designated on the Regulating Plan in the Aragon Design Code. Each building type may occur only on the lots designated for it.

**Build-to Line:** Location identified in the Urban Regulations where a front, side, or rear facade or wall must be built. Note that unlike a setback, this does not establish a minimum distance for the exterior building wall, it establishes the exact location for the exterior building wall. (See siting diagrams in Urban Regulations section.)

**Build-to Zone:** Area identified in the Urban Regulations within which a front, side, or rear facade must be built. (See siting diagrams in Urban Regulations section.)

**Cantilever:** Structural technique of tying floor and roof joists back into adjacent structure and extending these joists out into space, creating floor and roof area with no supporting columns. Commonly found in balcony construction.



**Car Gate:** Swinging gate, minimum 80% opaque and 5'-0" to 6'-6" high, used to control vehicular access to rear or side yard and used to screen cars from street.

**Carriage House:** Outbuilding which derives its name from a building used to house carriages. In modern usage, this can be a garage or garage with another use on a second floor.

**Column:** Vertical structural member supporting a beam.

**Community site:** Portion of Aragon set aside for community use, such as community garden or gazebo.

**Cornice:** The topmost portion of the entablature; a decorative trim typically located at the junction of the wall and roof. See illustration at right.

**Cupola:** Small structure located at the peak or ridge of a roof, consisting of low walls, windows, and a small roof.

**Deck:** A raised wood frame platform with no roof.

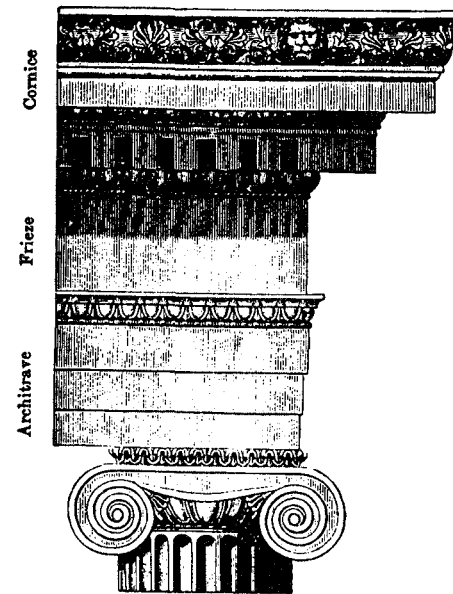
**Dentils:** Ornamental elements of a cornice resembling small, square, wooden pegs.

**Dormer:** A window placed vertically in a sloping roof, with a roof of its own.

**Double Galleried Porch:** A porch configuration consisting of a first and second floor porch, with the second floor porch occurring directly above the lower floor porch.

**Eave:** The exterior underside of a sloping roof which overhangs a wall.

**Entablature:** The upper horizontal members of a classical order, consisting of an architrave, frieze, & cornice. See illustration below.



Greek Entablature

Illustration from *The Penguin Dictionary of Architecture* by J. Fleming, H. Honour, N. Pevsner. Penguin Books, 1972.

**Exterior Cladding:** The material primarily used to cover the outside of a building, i.e., wood siding, brick masonry, etc.

**Facade:** Portion of a building that faces a street, park, walkway, alley, or property line, and typically is the outer face of the building mass.

**Family Group:** Lots designated as "Family Group" on the Regulating Plan. These lots may be purchased by one party and may be consolidated for purposes of sharing a courtyard, parking, or other central space. See Urban Regulations introduction for further explanation and requirements.



**Fence:** Semi-transparent barrier separating public from non-public space, usually located to the front of a house or building.

**Flush Door:** Door with flat exterior face, as opposed to a paneled door made of rails, stiles, and panels.

**Frieze:** The middle division of an entablature between the architrave and the cornice. See illustration, p. 9.

**Gateway Review Board:** Review Board of the Gateway Redevelopment District (GRD), established by the City of Pensacola.

**Gable:** The triangular portion of a wall at the end of a pitched roof. A roof with two sloping planes meeting at a common ridge and having gabled ends.

**Garden Wall:** A minimum 6'-6" high barrier separating public from private space, typically located to the rear of a house, and generally taller and more opaque than a fence. Construction and materials are complementary to those of the principal building.

**Granny Flat:** Outbuilding used as a detached apartment.

**Half (½) Story:** Section of a structure which contains habitable space in a roof space or attic with or without dormers. Also, half (½) story can be the uppermost story of a building containing 50% or less square footage than the story below.

**Hip:** The external angle formed by the meeting of two sloping roof surfaces. A roof with sloping planes at each facade meeting at a common ridge.

**Home Occupation:** Commercial venture pursued from one's residence, involving immediate family and fewer than two employees. Such venture shall not be recognizable from the street except by signage, which is regulated under other sections of this code.

**Knee Braces:** Angled structural braces tying an overhanging portion of a structure back to a vertical wall.

**Limited Office Use:** Office uses limited to professional and service pursuits. Office square footage may not exceed 50% of the total square footage of the principal building and outbuildings. Activities shall not involve the storage or stockpiling of quantities of product requiring regular offloading through the front or rear entries. Such use shall be recognizable from the street only by signage, which is regulated under other sections of this code.

**Lite:** A glass pane in a door or window.

**Masonry:** Construction technique utilizing modular units stacked with mortar as a bonding agent, i.e., stone masonry, brick masonry, or concrete block masonry.

**Modillion:** A small bracket, typically paired, of which a series is frequently used to support the upper member of a cornice.

**Outbuilding:** Building located to the rear of a lot, separate from the principal building, whose use is defined in the Urban Regulations section of this code. An outbuilding may be connected to the principal building by a breezeway or pergola. Electrical metering for this building can be taken from the principal building, or a separate service for the outbuilding can be provided.

**Panel:** Portion of a door filling the void between stiles and rails.



**Pergola:** A covered walk in a garden usually formed by a double row of posts or pillars with joists or beams above and commonly covered with climbing plants.

**Permeable:** With respect to lot surface, permeable refers to the ability of the ground to hold and absorb water. Non-paved areas, shell, granite chips, and turf pavers are considered permeable.

**Pickets:** Typically, flat, pointed vertical members of a fence supported by a top and bottom rail.

**Plank:** Type of gate or door construction utilizing vertical wooden boards with rear-mounted horizontal supports.

**Porte-cochere:** An unenclosed shelter or passageway large enough to allow vehicles to pass alongside a building, typically to a parking area or rear yard.

**Principal Building:** The main house or building built on a lot, as opposed to an outbuilding.

**Quoins:** The dressed stones at the corners of buildings, sometimes laid so that their faces are alternately large and small; or the imitation of this technique with other materials, such as wood.

**Rafter:** Structural member supporting a roof.

**Rake:** The sloping fascia of a gable.

**Roof Deck:** Exterior walking surface located over a flat roof.

**Screening:** The use of an outbuilding, car gate (where allowed), garden wall, or dense, tall vegetation (where allowed) to give privacy to the rear half of the lot or to screen parking, mechanical equipment, or trash receptacles from view.

**Scrollwork:** Functional and ornamental elements produced by cutting wood on a scroll saw resulting in patterns created by the voids left in the wood.

**Setbacks:** Lines established in the Urban Regulations, parallel to lot lines, which determine the closest distance a structure may be built to the property line. (Note difference from Build-to Zone and Build-to Line.)

**Shed Roof:** Roof type consisting of a single sloping plane.

**Special Lot:** Building lot with special requirements due to its location. Special lots are designated as such on the Regulating Plan. See Urban Regulations introduction for further explanation and requirements.

**Spindles:** Vertical members of a balustrade turned on a lathe, supported by a top and bottom rail; typically more decorative and elaborate in detail than sticks.

**Stick Work:** Ornament commonly located in gables and at column to beam connections, composed of square or rectangular sections of wood.

**Sticks:** Round or square vertical members of a balustrade supported by a top and bottom rail, typically simpler than spindles.

**Stile:** Vertical member of a window sash or door.

**Stoop:** Steps and rails leading from grade to a front porch that are not covered by a roof.

**Storefront:** Term used to describe a glass and frame structure forming the front windows and doors of a commercial establishment.



Street: Vehicular and pedestrian circulation adjacent to lots.

Front: The street whose name appears in the address of a particular lot, except at Type V lots which do not have a front street.

Side: Secondary street which intersects front street at corner lot locations.

Rear: Service street, opposite the front street, which allows access to rear yards and outbuildings.

Studio: A workroom or place of study of an art, including painting, sculpting, photography, dancing, music, and other performing arts.

Style: Classification of architecture based on common elements that were popular during a given period of history, not to be confused with building type. See Architectural Styles section.

Tower: Round or square vertical building element generally with a separate roof, differentiating it from the main body of the building.

Trim & Casing: Elements of windows and doors used to finish the interior and exterior of a window or door, i.e., exterior trim, interior casing.

Turret: Architectural element similar to a tower but cantilevered from a supporting wall, thus not connected to the ground.

Unit: Individual residential dwelling including kitchen and bathroom facilities, office, or commercial establishment, involving a single tenant.

Widow's Walk: Roof deck placed at the peak of a roof, historically named for decks used by the wives of sailors waiting for their husbands to return from the sea.

Wraparound Porch: Porch that is configured to extend across two or more connecting faces of a building. These porches can be an L-shape or U-shape in plan.



**Car Gate:** Swinging gate, minimum 80% opaque and 5'-0" to 6'-6" high, used to control vehicular access to rear or side yard and used to screen cars from street.

**Carriage House:** Outbuilding which derives its name from a building used to house carriages. In modern usage, this can be a garage or garage with another use on a second floor.

**Column:** Vertical structural member supporting a beam.

**Community site:** Portion of Aragon set aside for community use, such as community garden or gazebo.

**Cornice:** The topmost portion of the entablature; a decorative trim typically located at the junction of the wall and roof. See illustration at right.

**Cupola:** Small structure located at the peak or ridge of a roof, consisting of low walls, windows, and a small roof.

**Deck:** A raised wood frame platform with no roof.

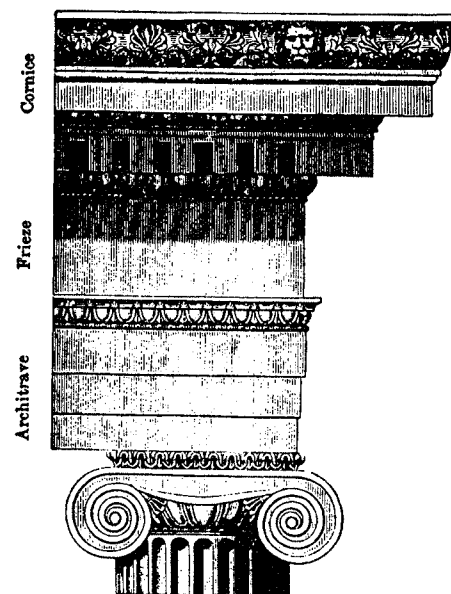
**Dentils:** Ornamental elements of a cornice resembling small, square, wooden pegs.

**Dormer:** A window placed vertically in a sloping roof, with a roof of its own.

**Double Galleried Porch:** A porch configuration consisting of a first and second floor porch, with the second floor porch occurring directly above the lower floor porch.

**Eave:** The exterior underside of a sloping roof which overhangs a wall.

**Entablature:** The upper horizontal members of a classical order, consisting of an architrave, frieze, & cornice. See illustration below.



Greek Entablature

Illustration from *The Penguin Dictionary of Architecture* by J. Fleming, H. Honour, N. Pevsner. Penguin Books, 1972.

**Exterior Cladding:** The material primarily used to cover the outside of a building, i.e., wood siding, brick masonry, etc.

**Facade:** Portion of a building that faces a street, park, walkway, alley, or property line, and typically is the outer face of the building mass.

**Family Group:** Lots designated as "Family Group" on the Regulating Plan. These lots may be purchased by one party and may be consolidated for purposes of sharing a courtyard, parking, or other central space. See Urban Regulations introduction for further explanation and requirements.







# ARCHITECTURAL STYLES





## ARCHITECTURAL STYLES

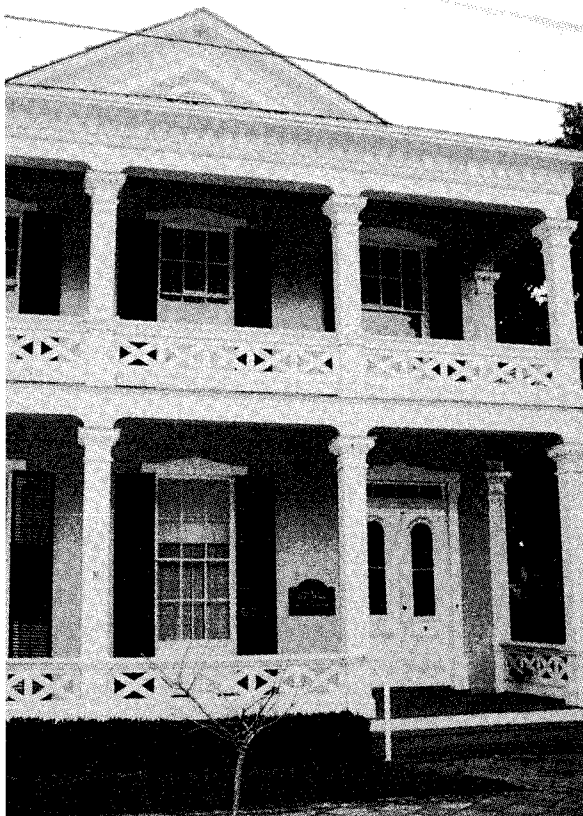
### Introduction

The intent of the Architectural Styles section is to describe styles of architecture which can be used in the development of Aragon. These styles are not to be viewed as absolutes from which one must copy, but rather as a depiction of the characteristic building massing, composition, and ornament of each style, which will lead to a clear architectural expression. For a more extensive written and photographic description of these styles, it is highly recommended that one refer to *A Field Guide to American Houses* by Virginia and Lee McAlester and *New Orleans Houses* by Lloyd Vogt.

Several styles have been identified that are well represented in Pensacola's historic and preservation districts and the surrounding region. These include Colonial Revival and Neoclassical, Victorian, Italianate, Craftsman, and Coastal Vernacular. Some of these styles or subgroups lend themselves to row house configurations easily. These styles include Colonial, Italianate, and Caribbean Vernacular.

Please note that these styles do not constitute a finite list and that, based on architectural merit, other styles will be reviewed and may be permitted through the review process. Each proposed style will be evaluated on compatibility and appropriateness of scale, proportion, massing, details, and materials.





In the following pages, each of the identified styles will be examined relative to its many characteristics and the interrelation of these characteristics. The overall massing of the style will be discussed, as well as the shape of the roof as it relates to the walls of the building. It is hoped that through this discussion the individual who seeks to have a custom home or building designed will be given enough guidance to allow for an orderly design process to take place, thus yielding a building compatible with its neighbors and the neighborhood in which it will be an integral part.

### ***Seville Historic District Guideline Study***

In the mid-'80s, the Florida Northwest Chapter of the American Institute of Architects undertook a study of the Seville Historic District. The final product of this study, the *Seville Historic District Guideline Study*, was a comprehensive analysis of the existing district which has stood as a guideline for new development in the district for the past 15 years.

Owners building in the HC-1 or HR-2 zoned areas (see Overlying City Zoning Plan, p. 77) are encouraged to obtain a copy of this document. In it are guidelines in addition to those of Aragon. In some instances, the Historic District guidelines are more restrictive than those of Aragon.

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## ARCHITECTURAL STYLES

### Introduction

The intent of the Architectural Styles section is to describe styles of architecture which can be used in the development of Aragon. These styles are not to be viewed as absolutes from which one must copy, but rather as a depiction of the characteristic building massing, composition, and ornament of each style, which will lead to a clear architectural expression. For a more extensive written and photographic description of these styles, it is highly recommended that one refer to *A Field Guide to American Houses* by Virginia and Lee McAlester and *New Orleans Houses* by Lloyd Vogt.

Several styles have been identified that are well represented in Pensacola's historic and preservation districts and the surrounding region. These include Colonial Revival and Neoclassical, Victorian, Italianate, Craftsman, and Coastal Vernacular. Some of these styles or subgroups lend themselves to row house configurations easily. These styles include Colonial, Italianate, and Caribbean Vernacular.

Please note that these styles do not constitute a finite list and that, based on architectural merit, other styles will be reviewed and may be permitted through the review process. Each proposed style will be evaluated on compatibility and appropriateness of scale, proportion, massing, details, and materials.

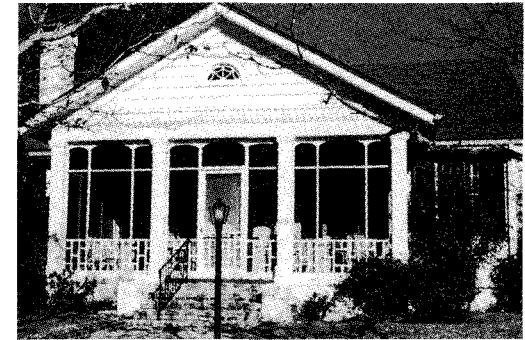


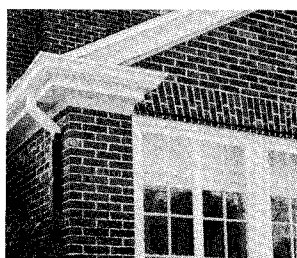
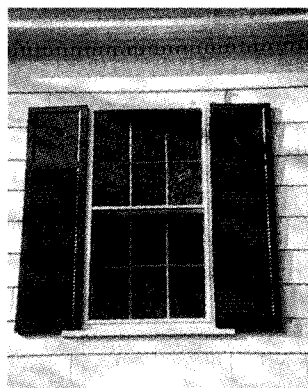
## Colonial Revival & Neoclassical

The peak of Colonial Revival and Neoclassical styles was between 1890 & 1940. Many of these buildings, which draw their inspiration from American Colonial Times and ancient Greece and Rome, were built across the country and flavor the character of older southern neighborhoods. Predominate features include simple gabled or hipped roof form; symmetrical facade with orderly placement of windows, doors, and porch; accented front doors; ornamental cornices; and classical columns and details.

### Building Configuration:

One of the predominate features of this style of architecture is its simple square or rectangular form with side gabled or hipped roofs. The configuration of the Colonial and Neoclassical building ranges from a simple rectangular box to more complex forms where the box is combined with smaller single story side wings which have the same roof form as the central box. Side wings can be porches or interior spaces. Often the form consists of a rectangular box with the long axis facing the street and a medium pitched roof spanning the entire length of the box. The facade of the building is usually symmetrical, with a centered, well-articulated shallow porch or door surround entry, or full width porch. The symmetrical facade has an orderly and well proportioned relationship between the windows, door surround, porches, and dormers. Windows and doors are often placed in a 3-bay composition. Detached houses are typically 1 to 2-1/2 stories, and townhouses are typically 2 to 3-1/2 stories.





## Windows:

One of the predominate features that defines Colonial and Neoclassical styles is the symmetrically placed windows. Windows are typically rectangular in shape, with each sash having either 6, 9, or 12 panes, or multiple pane upper sash with single pane lower sash. Palladian windows, triple windows, and circular or semi-circular accent windows are characteristic, especially on gable ends. First floor windows are usually taller than upper floor windows. Windows in masonry walls can be topped with segmental or flat arches. Windows in wood walls can have simple trim or triangular or segmental arch pediments above. Windows are framed with trim boards and stand nearly flush to the exterior siding.

Shutters are typically louvered or paneled with hardware that appears operable.

Dormers are primarily gabled roof dormers but can be hipped or curved. The windows are typically rectangular with 6 over 6 panes, but can be arched.

## Cornices & Eaves:

Cornices and eaves typically have little overhang (8 inches to 1-1/2 feet) and have well ornamented moldings and fascias. In more decorative examples, coves, dentils, or modillions may be used. This molding is typically located above a frieze board. Multiple layered moldings can be used to build up the mass of the cornice, though the profiles used for such moldings must be limited to remain true to the style. Ogee gutters can



be formed to simulate appropriate molding. Cornice configuration relative to the entire house can be of two approaches: the cornice can wrap the corner and extend across the narrow side of the house and join with the rear cornice, or the cornice can return several feet and be mitered and returned to the building end wall.

### **Door Surrounds:**

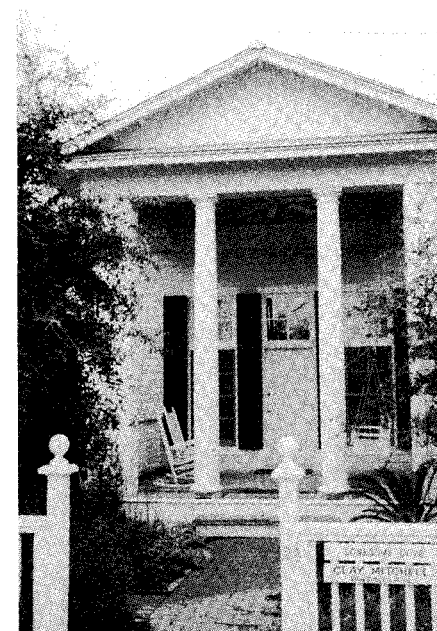
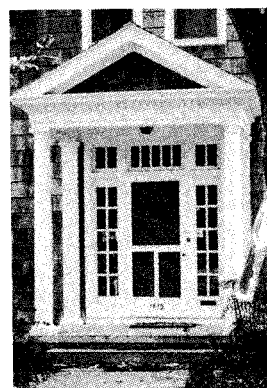
Door Surrounds are often slightly recessed with decorative cornice and pediments and pilasters, or can have a portico with classical columns. Doors can have side lites, transoms, and/or fan lites.

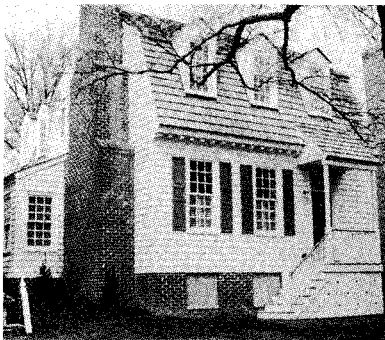
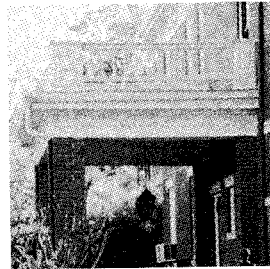
### **Porches:**

There are several options for Colonial and Neoclassical style porches. They can extend across the entry area only or the full width of the house. The porch can be either a single story structure covering the entry door and lower floor windows, or a double galleried porch with porch space on the first and second floor.

Entry porches are generally 6 to 8 feet deep. The porch roof can be a low gable, or flat, with or without a balustrade on top. Columns are typically 6 or 8 inches in diameter.

The double height porch can occur at the entry with a smaller second floor balcony located within the 2 story porch. Also, this very large element can stretch across the entire width of the house and stand 2 stories tall. These porches are generally 10 to 12 feet deep due to their height. Roofs are typically shallow pitched gables.





Depending on the site, a side porch, which is typically an exterior room, is appropriate. Side porches can be screened to provide a bug-free exterior room for cool evenings. Columns for these porches are typically 6 to 8 inches in diameter, quite often arranged in series of two columns per support. Roofs are typically very shallow shed types.

Due to this style's more formal nature, balusters are typically spindles, but may be sticks as well.

The columns are typically either Tuscan, Doric, or Ionic orders, with correct proportions and entasis if possible. Doric columns may be round or square. All porches and details should be classical.

#### **Exterior Cladding:**

There are several choices of cladding in the Colonial Revival and Neoclassical styles including:

- Horizontal bevel or lap siding, 6 to 8 inches wide with 5/4 x 6 inch corner boards.
- Smooth finish brick in Common, English or Flemish bond patterns, or painted brick.
- Light sand-finished stucco.

Roofing materials are typically:

- Wood shingles.
- Dimensional asphalt or fiberglass shingles.
- Slate.
- Standing seam or batten seam metal.

## Victorian

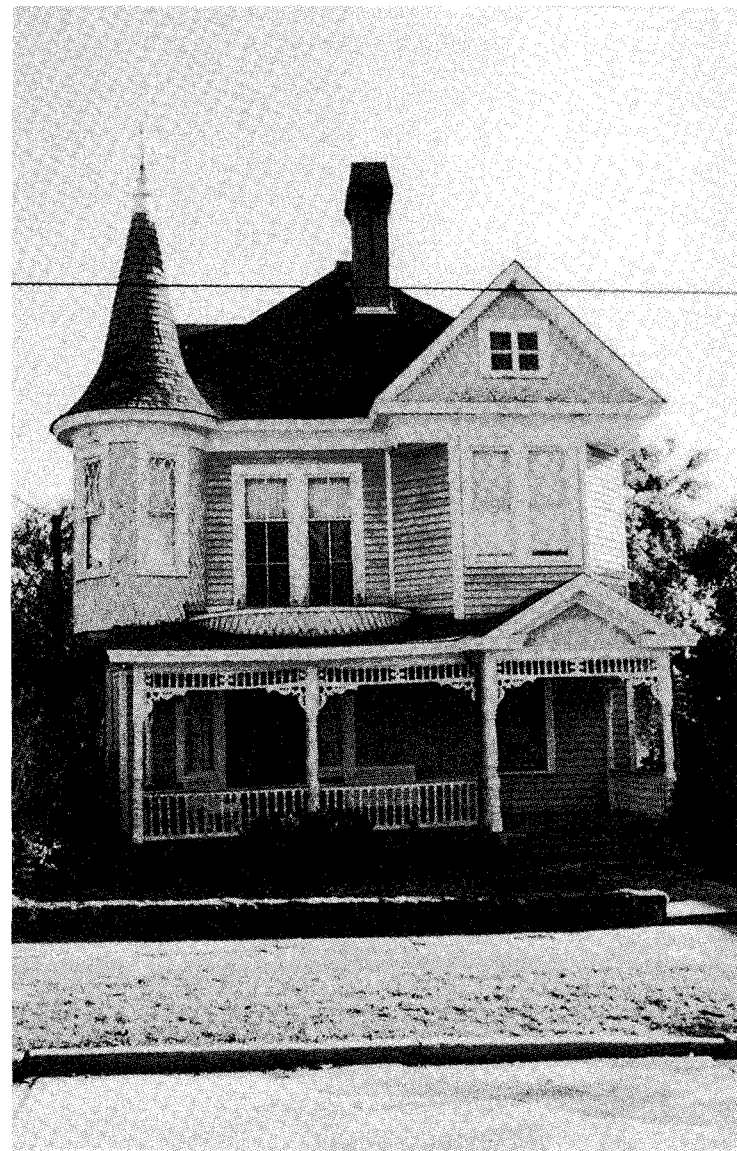
Victorian is divided into six distinctive subgroups according to *A Field Guide to American Houses* by Virginia & Lee McAlester. These subgroups include Second Empire, Stick, Queen Anne, Shingle, Richardsonian Romanesque, and Folk Victorian. All of these house types were built between 1860 and 1900 and each is distinguishable from the other, while all being Victorian. The Folk Victorian and the Queen Anne Victorian are the most common style of Victorian houses found in Pensacola. The following guidelines are based on these two types.

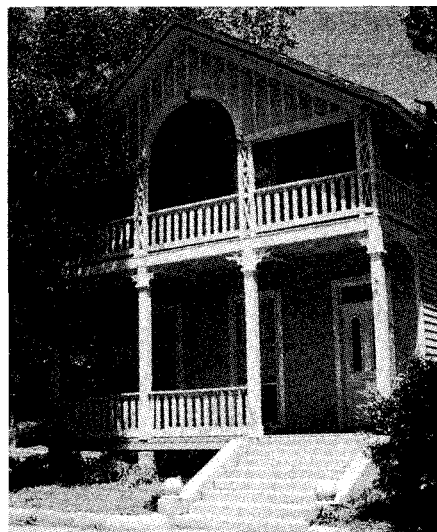
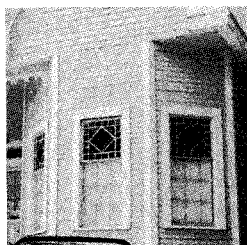
The most predominate features of the Victorian style are the vertical proportions, asymmetrical massing, complex shapes, and elaborate ornamentation. Victorian houses tend to be tall and narrow. Roof forms are generally steep with numerous gables.

### Building Configuration:

#### Queen Anne

The Queen Anne configuration is the more elaborate of the two styles located around Pensacola. Elaborate massing often includes towers or turrets to define a special corner and a great variety of roof solutions to define each mass. Facades are generally asymmetrical, and a variety of surface materials—from shingles to siding to stick work—give the facade a rich, decorative character.





Three possible building configurations are: L-shaped gable wings with a central hipped mass at the inside juncture of the legs of the L; T-shaped gabled wings; and a single front gabled mass. Each of these three configurations can incorporate a cylindrical tower.

### **Folk Victorian**

The Folk Victorian configuration is more simple than the Queen Anne, utilizing a single rectangular box with gable ends, either 1 or 2 story. This box can face the street along the narrow or wide side of the rectangle. Variations on this include an L-shaped configuration with two gabled legs, with a shed porch between the legs, and a pyramidal box. Turrets and towers are not typical to this variation.

### **Facade:**

The Victorian facade is typically asymmetrical with the introduction of towers, turrets, and cylindrical elements into rectangular masses, be they porches or the main body of the building. Every effort is made to avoid smooth stretches of wall by a complex configuration of elements including overhangs, gables, bay windows, porches, and towers.

### **Windows and Doors:**

Windows are vertically proportioned. Double hung windows are typical with 1 over 1 or 2 over 2 window patterns. Typically second floor windows are two inches narrower than their first floor companions. This reduction in size

again emphasizes its verticality, making the building appear taller. Windows can occur singularly or in groups of two or possibly three. Bay windows are common. Windows often have decorative headers or upper sashes and can have stained, etched, or beveled glass.

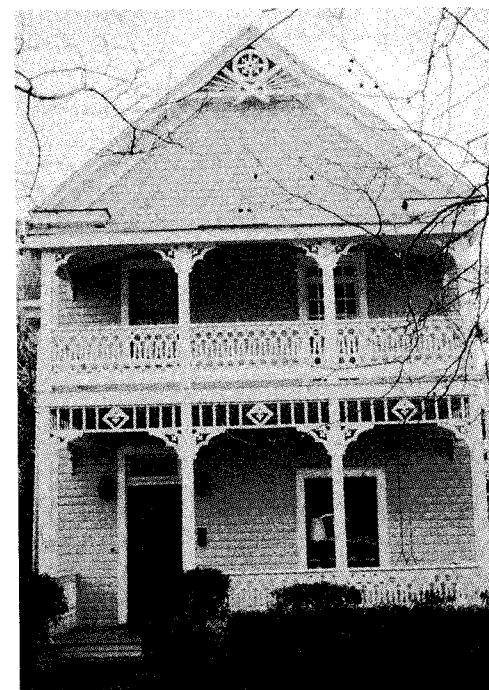
Doors often consist of a glass upper lite over panels below. Doors can be double-leafed, can have side lites, and typically have transoms above.

### **Porches:**

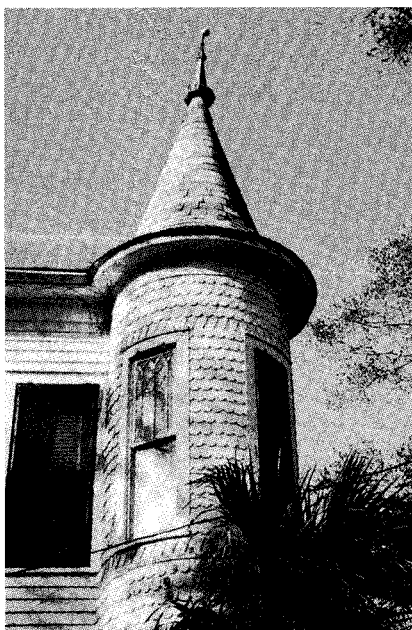
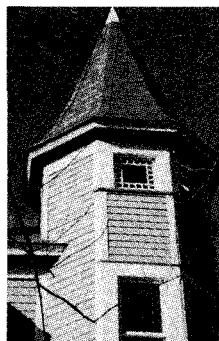
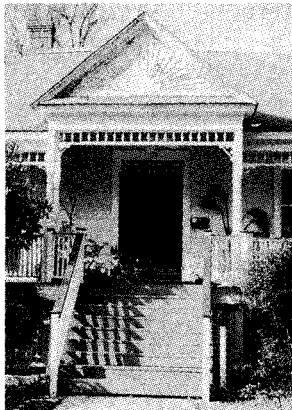
Porches are typical to the Queen Anne and Folk Victorian variations. These porches can be single floor street facing or multistory wraparound porches. This feature makes the Victorian building a prime candidate for corner lots where, visually, how the building turns the corner is very important.

The Victorian porch is a true celebration, generally highly ornamented. As noted in the Building Configuration section above, the Victorian home can take on several different building massings. Due to this variation, the Victorian porch has quite a bit of variety, ranging from entry porches to full width double galleried porches. The common thread of these porches is the variety of their ornament.

Columns are typically either turned from 8 inch stock or square with chamfered edges. Patterns of the turned columns vary widely. Columns can also have ornamental brackets at the column to beam







connection of the porch. Often an open woodwork frieze along the top is supported by brackets located between the columns. The design of these brackets is as varied as the style itself.

Balusters are typically spindles, square sticks, or intricate scrollwork wood cutouts.

### **Additional Decorative Elements:**

Historically, numerous parts of the Victorian house have received ornamentation. The rakes of gable ends sometimes drip with scrollwork or turned elements, many times having faux support brackets, in singles or pairs. The cornices and eaves of the building can be heavily ornamented, with brackets and scrollwork. Dormer gable ends are generally ornamented in a similar manner.

It should also be noted that in many cases builders of Victorian houses have borrowed freely from past styles for components and details with little attention to exact duplication.

Masonry in the form of chimneys is also heavily ornamented, utilizing corbels, soldier courses, sailor courses, and in some cases cast terra cotta.

### **Exterior Cladding:**

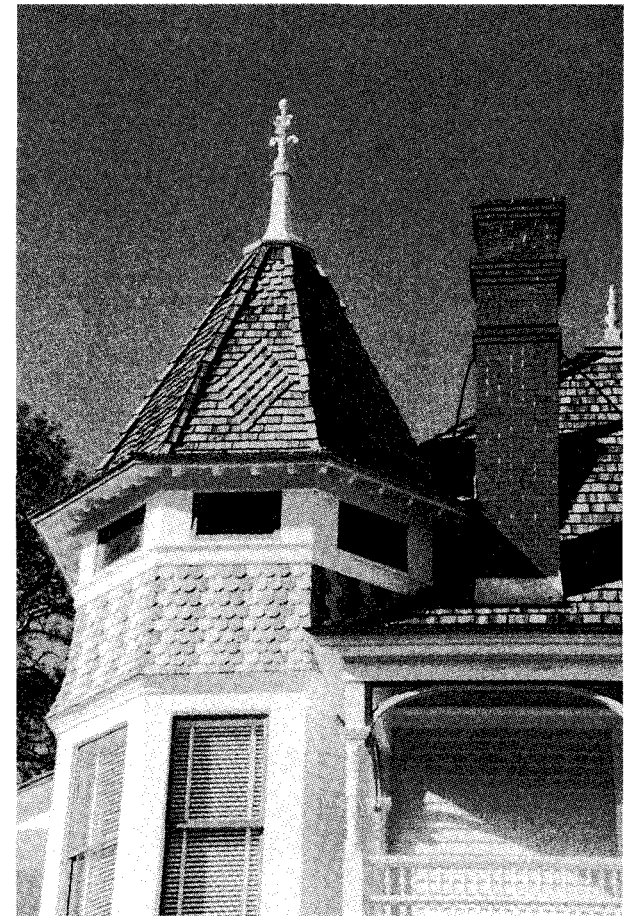
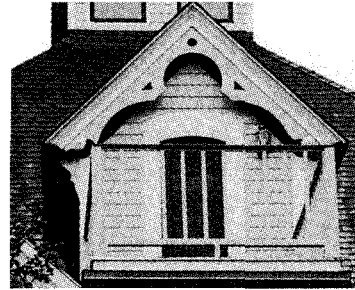
The primary cladding used in the Victorian style is:

- Bevel or lap siding, 4 to 6 inches wide with 5/4 x 6 inch corner boards.
- Vertical board and batten, also utilizing 5/4 x 6 inch corner boards.

Other forms of siding are varied when used in a decorative manner. Many times gable ends, dormer gables, or entire dormers are accentuated by fish scale siding or mixtures of multi-shaped shingles, producing a highly decorative effect.

Roofing materials are typically:

- Wood shingles.
- Diamond-shaped asphalt shingles.
- Dimensional asphalt fiberglass shingles.
- Metal shingles.
- Metal "V" crimp sheathing.
- Standing seam or batten seam metal.
- Copper.

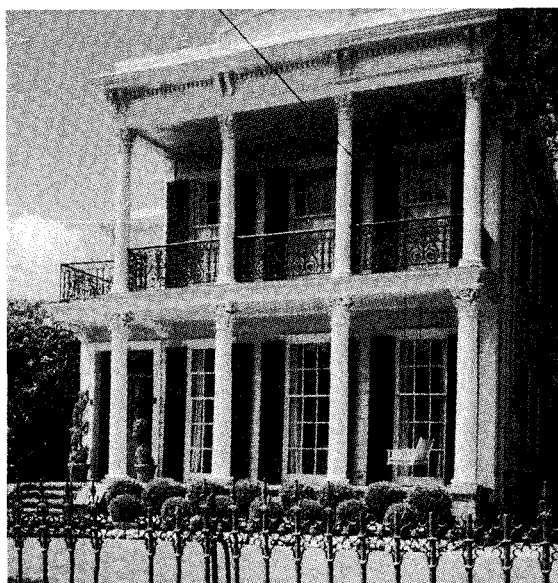




## Italianate

Italianate design saw its strongest surge in the United States from 1850-1880. Deriving its elements from the informal Italian country villa and Italian Renaissance architecture, the American renditions of this style are varied and embellished to a point of truly defining a style all its own.

The major characteristics of Italianate style include bracketed and elaborate cornices, highly detailed window crowns with segmental and stilted arch shapes, and elaborate frame details above doors similar to windows.



Typically 1 to 3 stories, buildings in this style are similar to Victorian in their complexity and exuberance of detail, though the detailing itself is quite different. With many decorative elements which are more solid in form and less “cut out,” the Italianate home is typically more formal than the Victorian.

Though generally a freestanding building, the Italianate style was also used in row house design in America. Being a pure box with little ornament except at doors, windows, and cornice, this style lends itself well to row house design and produces a streetscape of noble quality.



### Building Configuration:

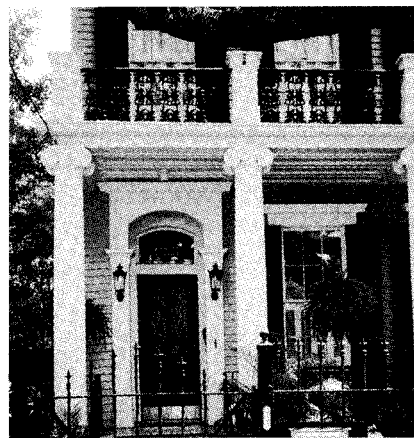
The primary massing options of the Italianate style are square, rectangular with front centered gable along the long axis, rectangular with front centered parapet, or L-shaped in plan. The L-shaped variant can incorporate a square tower on the inside corner of the L. A rectangular variant with entry along the narrow side is also possible. Some houses have a semi-octagonal bay on the side or front.

For those buildings with a simple hipped roof, one of its predominate features is the tall cube-like mass of the building's body. In its simplest form, the footprint of this style is square and typically 2 stories, sometimes with a cupola. Capped by a low-pitched broad overhanging roof, the effect is quite unique.

### Roofs:

There are two types: those with wide overhanging eaves and decorative brackets, and those with low roofs hidden behind a decorative parapet with an ornamental entablature and brackets. For those that are visible, roofs are typically hipped. Roof slopes are generally 4:12 to 8:12. Gabled roofs of the same slopes are also found in this style, typically utilized for building wings facing streets. Overhangs can be extensive, up to 3 feet. Due to this degree of overhang, support brackets are no longer simply ornamental, but are utilized to help support the overhanging structure. Those with decorative parapets are more typical to our region.





### Windows & Doors:

Windows in the Italianate style are tall and narrow, utilizing 1 over 1, 2 over 2, or 2 over 4 pane configurations. Window heads can be rectangular, flat arches, segmental arches or full arches. Window surrounds can be very elaborate with a wide variety of decoration; some have inverted U-shaped crowns.

Window configurations can be single, double, or triple units. Bay windows are common. Louvered shutters are typical.

Entry doors are often double doors, though single doors do occur. The door surrounds, like the windows, are heavily ornamented, often with pilasters supporting molded cornices of various shapes. Doors are paneled, some with lites in the door and some with segmental arched transoms.

### Cornices & Entablatures:

Due to the size of the roof overhang or parapet in this style, the cornice and entablature become very strong visual elements. With overhangs of up to 3 feet, the size and proportion of this ornamental system is very important to be true to the original Italian prototypes. For those examples using a parapet instead of an overhang, the cornice and entablature are very ornate with brackets and dentils. The cornice of this style is built up of several moldings leading back to thick structural brackets, which are also ornamented. These brackets connect the cornice to the

frieze and in some examples extend down onto the architrave. Paired brackets often align over the porch columns. Between each bracket is an ornamental panel that formally defines the frieze. There can be jigsaw ornamentation on the entablature. Architraves are typically flat stock or simple moldings and can have dentils. The actual design of the brackets is quite varied, ranging from scroll forms to simplified sectional cut-outs several inches thick.

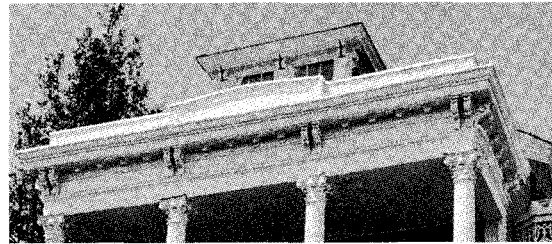
### **Porches:**

When the building is a square or rectangular mass, porches can be single or 2 story and stretch across the street facade. In the L-configuration, the porch can fill in the inside corner of the L. Smaller side porches also occur.

Columns are typically massive and can be square with chamfered edges or fluting. Columns also can be Corinthian or Doric. Spanning between the columns is a beam that can be flat with chamfered edges or a segmental arch. Double columns, especially in wrought iron, are not uncommon. Often the columns have a distinct base, shaft, and capital, though they are stylized and bear little resemblance to their classical prototypes.

The porch cornice can be a smaller scale rendition of the main cornice of the house, with supporting brackets, dentils, and modillions.

Balustrades are often cast iron or spindles.





### Exterior Cladding:

Exterior cladding utilized in the Italianate style can be of three primary materials:

- Stucco.
- Bevel or lap siding, 6 to 8 inches wide with 5/4 x 6 inch corner boards.
- Brick.

Quoins are found on wood, stucco, and brick examples. It should also be noted that brick and stone are often used as accent elements in the cladding for window sills, building plinth, and exterior stairs when the primary material is either brick or stucco.



Roofing materials are typically:

- Slate.
- Standing seam or batten seam.
- Dimensional asphalt or fiberglass shingles.

## Craftsman

The Craftsman style of architecture developed in America between 1905 and 1930. Spawned from the work of Greene & Greene, this style was promoted heavily through magazines and plan books of the time and ultimately became a distinctive style, uniquely American. The Craftsman style was associated with the arts and crafts movement and offered a sense of simplicity and comfort.

Incorporating low-pitched gable roofs with wide unenclosed eave overhangs, this style is highly recognizable. Typically, roof rafters are left exposed, and false brackets, beams, and knee braces are added at gable ends, appearing to support the roof. Large expansive porches served southern homes well by shading the main body of the house. Such porches were supported by columns of varying design, generally running from the beam to the surrounding grade, uninterrupted by the plane of the porch floor.

### Building Configuration:

The typical Craftsman style configuration is fairly simple, being either rectangular with front or side gabled roof, or L- or T-configured with cross-gabled roof.

The complexity of this building type comes in the introduction of multiple roof forms and complex porches.







The Craftsman style is typically made up of 1, 1-1/2, and 2 story buildings. Smaller single story buildings are found extensively across America, although 2 story examples are common and provide houses of extensive scope. The 1-1/2 story variant typically relies upon large multi-windowed dormer rooms to provide the 1/2 story. The elaboration of these dormers can be as ornate as the house itself, with the roof eave and rake details duplicating that of the main roof, though on a smaller scale.

### Windows & Doors:

Windows in the Craftsman style are typically double hung or casement and can be single, paired, or ganged into units of three or more. On second floors, these windows are often found ganged into continuous lines allowing great amounts of light into the building. Specialty windows also exist in this style, placed on either side of a fireplace or in the attic gable ends. The individual window units are typically made up of a multi-paned top sash, incorporating a variety of layouts, with a single pane lower sash. Window surrounds are simply detailed with flat trim. Gable dormers on side gabled roofs often have ganged multi-lite windows and are a prominent feature of the front facade.

Craftsman doors tend to be simple, being a single door or a single door with side lites or transom. The actual doors vary widely, with leaded glass or stained glass windows, panels, or combinations of both.



### Roofs:

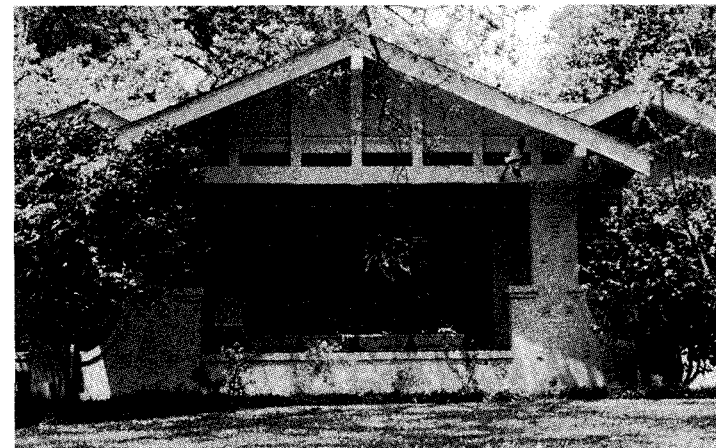
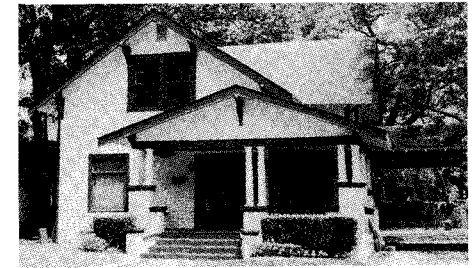
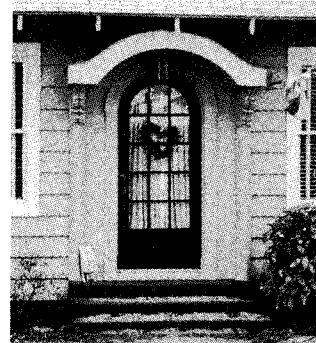
The roof of the Craftsman style house is generally a simple gable over the main body of the house, though in the T- or L-shaped configuration multiple gables are required. Roof slope is generally quite low, 3:12 to 4:12, though variations can be found with steeper roofs. The roof eaves are almost never boxed-in, which leaves the rafter tails exposed. Extended gables are supported by triangular knee brackets or exposed roof ridge and eave beams.

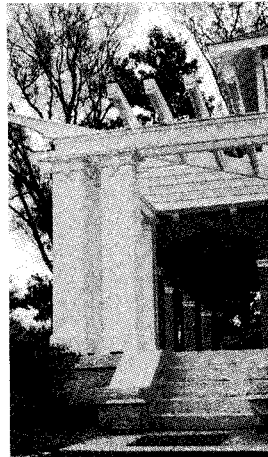
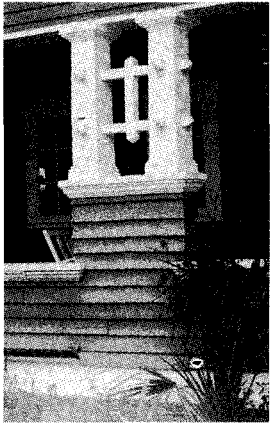
The complexity of the Craftsman roof comes with the addition of secondary roofs in support of the primary main body roof. These roofs take the form of small room extensions, half story dormers, side rooms and porches, primary porches, and variations thereof.

### Porches:

The Craftsman porch is a very distinctive element of the style. The porch can be configured in many ways, ranging from the single bay entry porch, asymmetrically occurring on the entry facade, to massive wraparound porches covering two or three sides of the house.

The larger porch examples commonly have multi-gabled roofs that define primary entries, secondary organizing axes, and simple compositional elements. All of these roofs generally carry the same detailing as the main house. The porch roof is supported by flat beams which are carried by a variety of column combinations.





The breakdown of the scale of the column is a highly distinctive element of the Craftsman style. Quite often they are made up of two parts: a wood section supporting the beam, and a lower masonry section connecting to the wood at railing height and carrying the load down to grade. The wood columns can be single or double. The masonry usually starts at porch rail height, then continues down to grade. Another column variation is one made of rubble stone which extends from the porch beam down to the adjoining grade.

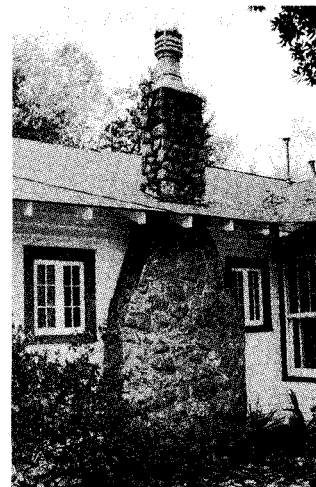
#### **Additional Elements:**

Numerous other elements can appear in the Craftsman style including trellised porches, porte-cocheres, window boxes, balconies, dormers with added ornamental stick work in the eave, stone exterior chimneys, and sloping battered foundations.

#### **Exterior Cladding:**

The dominant cladding used in the Craftsman style is:

- Bevel or lap siding, 6 inches wide with 5/4 x 6 inch corner boards.
- Wood shingles utilized on a second floor and stained to match siding on the first floor.
- Stucco.
- Stone or brick masonry at porch columns and piers.





Roofing materials are typically:

- Wood shingles.
- Dimensional asphalt or fiberglass shingles.
- Slate.
- Diamond-shaped asphalt shingles.





## Coastal Vernacular

Of all the styles discussed thus far, Coastal Vernacular is undoubtedly the most indigenous to this area. With many original examples in New Orleans, Mobile, and Pensacola, this housing style constitutes a significant portion of the buildings in the Historic District directly adjacent to Aragon.

### Building Configuration:

The building configuration of Coastal Vernacular is the rectangular box, with a full width front porch on all floors. The roof form capping the rectangular box is either gabled or hipped. Due to the simplicity of this building shape, expansion of the basic box can take the form of additions, independent of the main building mass, but linked to it through understated connecting elements.

### Windows and Doors:

Windows and doors tend to be tall and narrow, emphasizing the vertical. Windows can be floor length and often have 6 over 6 or 9 over 9 pane configurations. Typically, windows and doors are symmetrically placed in relation to the column bays. French doors with upper glass lites and lower panels and shutters are typical.

Gabled roof dormers with 6 over 6 double hung windows are quite common.



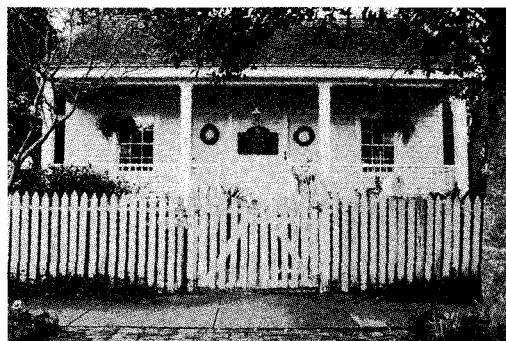
Shutters, the actual width of the adjoining window or door, are common and are either paneled or louvered.

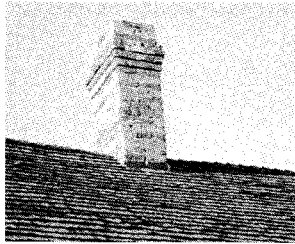
### **Porches:**

The Coastal Vernacular porch commonly runs the full width of the front of the building on all floors. Spacing of columns can range from 6 to 12 feet depending on the size of the lot, and column bays can range from 2 on narrow lots to 5 on wider lots. On wider lots and corner lots a wraparound porch can be used.

Columns can be square with chamfered edges, turned, or round. Capitals are made with simple applied moldings. Beams are flat and, as with the columns, ornamented with simple applied moldings. In the Pensacola area, if brackets are applied at the column-to-beam connection, they generally are smaller and less ornate than their Victorian or Italianate counterparts. Square columns are generally 6 to 8 inches square with a 1 inch chamfer on the edges. Round columns can be Tuscan or Doric.

Ornamental features are common in examples of Coastal Vernacular located in Pensacola. The two primary elements which are most ornamental are rail balustrades and column brackets. The variations that are found in these two elements are extensive.





Railings are typically simple rectangular sections. Balusters can be spindles, straight sticks, or simple jigsaw cutouts. Balcony railings in Creole townhouses are often wrought iron.

Brick masonry piers support porches in this style; some are finished with stucco. The space between the piers typically is infilled with either brick or wood lattice.

### Chimneys:

Chimneys are either brick or stucco and simply ornamented at the top.

### Exterior Cladding:

The primary cladding used in the Coastal Vernacular style is:

- Horizontal bevel or lap siding 4 to 6 inches wide with 5/4 inch x 3-1/2 inch corner boards.
- Smooth finish brick in common, English or Flemish bond patterns.
- Light sand-finished stucco.

Roofing materials are typically:

- Wood shingles.
- Standing seam, metal "V" crimp sheathing, or corrugated metal sheathing.
- Dimensional asphalt or fiberglass shingles.
- Diamond-shaped asphalt shingles.



### **The “Creole Cottage,” “Boxed Cottage,” and “Shotgun Cottage” Forms**

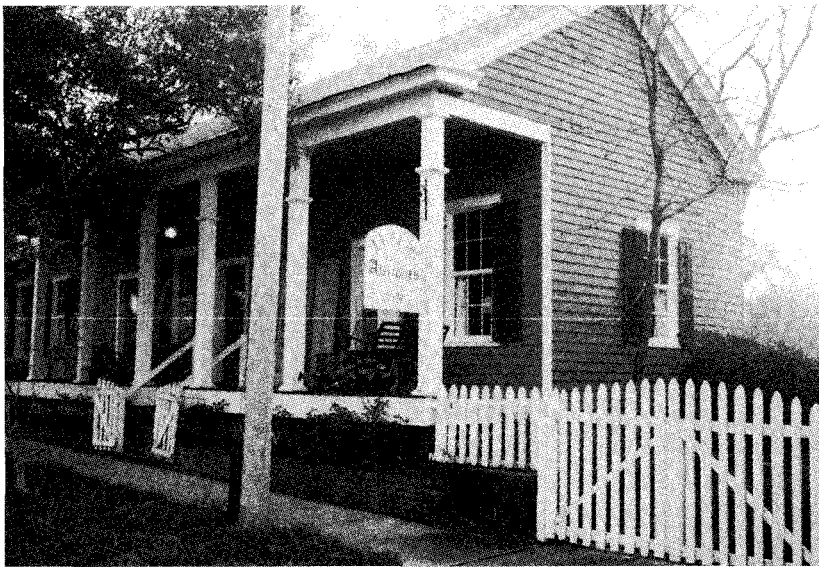
Though found throughout the southeast in various forms, three distinct variations of this style are found in Pensacola. They are the “Creole Cottage,” the “Boxed Cottage,” and the “Shotgun Cottage.”

#### **“Creole Cottage”**

The Creole Cottage can be a 1, 1-1/2, 2, or 2-1/2 story building, with a rectangular body capped by a gable roof. The body and the gable run parallel to the street. The roof generally has a fairly steep pitch, 9:12 to 10:12, and extends out over the full width front porch. Porches can also be configured as lower sloped appendages to the higher sloped main roofs. Porches can be single floor or 2 floor configurations, depending on the number of building floors.

The Creole Cottage is always elevated off the ground on piers, and in Pensacola’s most classic example, “Barkley House,” the piers elevate the main floor of the building 6 feet in the air.

Creole townhouses, often 3 stories with French doors, wrought iron balcony railings, and dormers are common in New Orleans.





### **“Boxed Cottage”**

The Boxed Cottage is the Creole Cottage in a slightly different configuration, with a hip roof. The building mass is generally more square or “boxed” and the hipped roof can slope to a common point forming a pyramid, though a hip with a small horizontal ridge running parallel to the street is more common. In other aspects, its components are similar to those of the Creole Cottage described above.

### **“Shotgun Cottage”**

The Shotgun Cottage differs from the Creole and the Boxed Cottages due to its long, narrow shape. This cottage type is always long and rectangular with the narrow end of the building mass fronting the street. The roof can be either gabled or hipped. In other aspects, its components are similar to those of the Creole Cottage described above.





## Coastal Vernacular The Caribbean Variant

Though the Caribbean variant is a true subcategory of the Coastal Vernacular style, it is different enough to require this separate section to describe its characteristics.

### Predominate Features:

The Caribbean Vernacular style can be 1 to 3 stories. A second and/or third floor balcony can run the entire width of the building. These are often cantilevered with brackets, which distinguishes this style from others. Due to this structural technique, the size of columns, beams, and porch roofs are diminished to reduce weight—generally small wooden columns with simple railings. Balcony balustrades can be wrought iron, wood sticks, or jigsaw cutouts.

This style lends itself to the row house application in its simplest form, a 2 story building with a cantilevered second floor porch. This style is common in New Orleans, Key West, and St. Augustine.

### Windows & Doors:

Windows and doors tend to have tall vertical proportions on the first floor, but can have a smaller vertical dimension on the second floor. A matched pair of shutters accompanies each door and window. Windows can be 6 over 6 or 9 over 9 panel configuration, and doors may have divided lites as well.



### **Building Configuration:**

Unattached buildings can have hip or gable roofs; some have double pitches. As a row house, the configuration is typically rectangular. Often a cross gable abuts adjacent party walls or a parapet hides a sloping roof. The main mass of the building conceals an inner courtyard that is separated from the rear alley by a courtyard wall.

The full width second floor porch and its roof are often treated as attachments to the main building mass even though the porch framing is cantilevered.



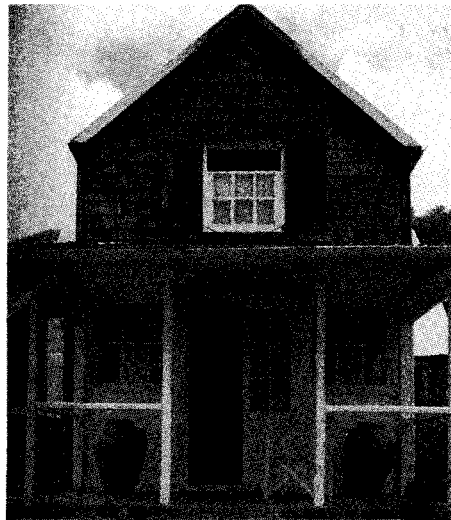
### **Porches:**

As noted earlier, the second floor porch of this style is commonly framed as a cantilever. Due to this framing technique, the depth of the porch is limited by the length the floor framing can extend back into the second floor building framing.

Porch columns for this style can be 4 inch by 4 inch members with lightly chamfered edges. Any ornament applied to the capital should take the form of simple applied moldings, with compatibly ornamented beams sized to support a shallow roof.







### Exterior Cladding:

The exterior cladding of Caribbean Vernacular is:

- Light sand-finished stucco.
- Horizontal bevel or lap siding, 4 to 6 inches wide with 5/4 inch x 3-1/2 inch corner boards.
- Wood shingles.
- Board and batten.
- Smooth finish brick in common, English or Flemish bond patterns.

Upper and lower floors may be different materials.

Roofing materials are typically:

- Metal “V” crimp sheathing.
- Metal standing seam or batten seam.
- Corrugated metal.
- Dimensional asphalt or fiberglass shingles.
- Diamond-shaped asphalt shingles.





# ARCHITECTURAL STANDARDS



## ARCHITECTURAL STANDARDS

### Introduction

The main goal of the Architectural Standards is to define a common level of architectural quality by which all plans will be reviewed. A careful and clear understanding of the standards by architect or designer, contractor, and owner will greatly simplify the submission and approval process.

Additionally, the Architectural Standards have been developed to define Aragon's architectural character. Aragon's character draws from both the unique waterfront quality of its immediate surroundings in Pensacola and its regional and historical context as a traditional southern downtown. For a more detailed description of the specific historical styles approved for Aragon, see the previous section, Architectural Styles.

Finally, the founders of Aragon wish to support creative architectural expression, while at the same time assuring visual harmony in the creation of individual buildings. By adhering to the Architectural Standards, one is allowed individual expression while maintaining a community cohesiveness that will make Aragon a special place to live.

The Architectural Standards identify and regulate all aspects of the individually designed buildings and surrounding lots. They regulate both new construction and renovation or additions to existing structures. These standards will act as a guide for the review of all documents submitted to the Aragon Architectural Review Board.

The standards are broken down into the following categories:

- Principal Buildings
- Outbuildings and Garages
- Signs
- Site Elements
- Miscellaneous

Each category is broken down into smaller categories, such as exterior building walls, dormers, glazing, porches, fences, etc., which are finally assessed in the following manner:

- Acceptable and/or prohibited materials.
- Acceptable and/or prohibited methods and configurations.

While some items in the Architectural Standards are recommendations, not requirements, inclusion of these recommendations will be looked upon favorably by the AARB.

Following the approval of the AARB, the owner is required by the City of Pensacola to submit his or her design to the Gateway Review Board or the Architectural Review Board. Each of these boards has guidelines and requirements that must be met independently of the Aragon Design Code. While we have attempted to structure our guidelines to be compatible with the two city boards, **approval by the AARB does not ensure approval by the GRD or the ARB.**



## **PRINCIPAL BUILDING**

### **EXTERIOR BUILDING WALLS**

#### **Walls**

##### **Acceptable Materials:**

- Wood clapboard, finished with paint or stain.
- Cedar shingles, finished with paint or stain.
- Vertical wood board and batten, finished with paint or stain.
- Fiber-cement ("Hardiplank" or equal) smooth lap siding, finished with paint.
- Brick.
- Smooth finish or sand-textured stucco.
- Stone for Craftsman style buildings.

##### **Prohibited Materials:**

- Vinyl siding.
- Aluminum siding.

##### **Methods and Configurations:**

Building wall materials, configurations, and techniques must be appropriate for architectural style. (Refer to Architectural Styles section.) Multiple exterior cladding materials are discouraged for use on a single building unless typical of the architectural style; for example, Victorian and Craftsman.

#### **Foundation Walls and Piers**

##### **Acceptable Materials:**

- Brick masonry.
- Sand-textured plaster or stucco over masonry.
- Stone for Craftsman style buildings.

##### **Methods and Configurations:**

Foundations for principal structures, excluding Type I - Townhouse, must be elevated a minimum of 1'-6" and a maximum of 3'-0" above grade. Minimum elevation is 9'-0" above sea level for principal buildings and habitable portions of outbuildings.

The area between grade and floor level must be appropriately detailed for the architectural style.

#### **Infill Between Piers**

##### **Acceptable Materials:**

- Wood lattice.
- Brick screens.

##### **Methods and Configurations:**

Areas between piers shall be skirted and screened and must be appropriate for architectural style.



## ROOFS AND GUTTERS

### Roofs

#### Acceptable Materials:

- Metal “V” crimp sheathing.
- Standing seam and batten seam metal.
- Corrugated metal.
- Copper.
- Metal shingles.
- 30-year or better dimensional asphalt or fiberglass shingles.
- Wood shingles.
- Slate.
- Diamond-shaped asphalt shingles.
- Single-ply membrane (for flat roofs).
- Built-up roofs (for flat roofs).

#### Methods and Configurations:

Roof pitch shall be appropriate for architectural style. Generally, 6:12 to 12:12 is preferred unless architectural style dictates other slope (for example, Craftsman). See Architectural Styles section.

Flat roofs are permitted when hidden by parapets, cornices, or eave overhangs boxed with moldings.

Shed roofs shall be allowed only against a principal building or perimeter wall, 3:12 slope minimum.

Multiple roof styles and shapes are discouraged for use on a single building unless typical of the architectural style.

### Eaves and Soffits

#### Acceptable Materials:

- Wood, stained or painted.
- Smooth finish or sand-textured stucco soffits may be used if they are detailed appropriately and they are appropriate for the architectural style.
- Fiber-cement (“Hardisoffit” or “Hardipanel” vertical siding panels) soffits may be used if they are detailed appropriately and match the scale, texture, and architectural style.

#### Methods and Configurations:

Eaves shall be appropriate for building style and type. See Architectural Styles section.

Open and exposed rafters are encouraged.

Sloped soffits are encouraged.

Common “bird box” soffit detail at gable roofs is strongly discouraged.



## **Fascias**

### Acceptable Materials:

- Wood, painted or stained.
- Aluminum, anodized or pre-finished.

## **Gutters and Downspouts**

### Acceptable materials:

- Galvanized steel.
- Naturally weathered copper.
- Anodized or pre-finished aluminum.

### Methods and Configurations:

Where provided, gutters are to be formed metal boxes, ½ round, or architectural ogee in section. Downspouts are to be round or rectangular, smooth, and located where least visible from the streets, parks, and walks. Gutters shall be provided at roofs where needed to prevent drainage onto adjacent property for zero lot line building types including Type IV - Sideyard House. Downspouts shall not discharge onto adjacent owner's property.

## **Flashing**

### Acceptable Materials:

- Anodized or pre-finished aluminum.
- Galvanized steel.
- Naturally weathered copper.

## **Vent Penetrations**

Roof and wall penetrations for venting, other than chimneys, shall be located so they are least visible from the streets, parks, and walks. No penetrations shall be allowed on the front of the building.

## **Dormers**

Dormers are encouraged where appropriate to the architectural style. See Architectural Styles section.

## **Widows' Walks, Towers, Turrets, Roof Decks, and Cupolas**

Widows' walks, towers, turrets, roof decks, and cupolas are encouraged where appropriate for the architectural style. Maximum square footage is 200 square feet. For maximum height see "Heights" in Urban Regulations section for each building type.



## WINDOWS AND DOORS

### Windows

#### Acceptable materials:

- Wood.
- Aluminum clad or vinyl clad wood windows.
- Solid vinyl, with components' (jamb, sash, frame) dimensions being the same as those of wood windows.

#### Prohibited Materials:

- Steel and aluminum windows.

#### Methods and Configurations:

Windows shall be vertically proportioned unless inappropriate for architectural style. Kitchen and bathroom windows, and those necessary for light in Type IV – Sideyard House and Type V – Small Cottage, can be horizontally proportioned if they do not detract from the overall design, but must allow ample privacy to neighboring lot.

Assemblage of complying window units is allowed if appropriate for the architectural style.

Number of panes per sash shall be appropriate for architectural style. Mullions shall appear to be true divided lites from exterior.

Window frame and sashes shall be finished with paint or stain if wood windows.

Window trim and casing shall have a minimum width of 5" at the sides, head, and sill, unless architectural style dictates otherwise.

Storm windows and screens shall be integrated with the windows. Frames and sashes shall align.

### Glazing

#### Acceptable Materials:

- Clear glass.
- Beveled or stained if appropriate for architectural style.
- Lightly tinted.

#### Prohibited Materials:

- Highly reflective glazing.

### Doors

#### Acceptable materials:

- Solid wood with glazing and/or panels or planks, painted or stained.
- Fiberglass with glazing and/or panels, painted.
- Insulated metal with glazing and/or panels, painted.

#### Prohibited Materials:

- Flush doors.
- Sliding glass doors if visible from streets, park, or walks.
- Metal screen or storm doors.





### Methods and Configurations:

Entrance doors, side lites, and transoms shall be appropriate for architectural style. See Architectural Styles section.

Door trim and casing shall be a minimum width of 5" at the sides and head.

Screen doors must be appropriate for architectural style.

### **Garage Doors**

#### Acceptable materials:

- Wood, stained or painted.
- Fiberglass, painted, at alleys only.
- Insulated metal, painted, at alleys only.

#### Methods and Configurations:

All garage doors are encouraged to be flush or wood plank, stained or painted, with simple patterns of glazing (if any).

Garage doors which are visible from the street, Type V - Small Cottage, and some of the Type IVB - Sideyard House with Street Access, must be wood, stained or painted. Design shall be flush or wood plank. Simple glazing pattern may be permitted.

Old-fashioned swing-operated styles are encouraged.

### **Storefronts**

#### Acceptable materials:

- Wood.
- Aluminum clad or vinyl clad wood.

#### Methods and Configurations:

Storefronts are allowed at Type I - Townhouse buildings and must be appropriate for architectural style.

### **Shutters**

#### Acceptable materials:

- Wood.
- Vinyl, if components' dimensions and appearance are similar to wood.

#### Methods and Configurations:

Shutters must be appropriate for architectural style.

Shutters must be louvered, flat vertical boards, or paneled boards.

Shutters, whether fixed or operable, must be dimensioned and shaped to completely cover the window or door opening in both width and height if closed.



## Security Gates

### Acceptable materials:

- Wood, stained or painted.
- Metal, painted.

### Methods and Configurations:

Security gates located in garden walls must be decorative and appropriate for architectural style.



## ARCHITECTURAL ELEMENTS

### Porches and Balconies

#### Acceptable Materials:

##### Columns

- Wood, painted or stained.
- Fiberglass, painted.
- Stone.
- Metal, painted.
- Brick.
- Smooth or sand-textured stucco.

##### Balustrades

- Wood, painted or stained.
- Metal, painted.
- Vinyl, if components match wood in style, dimensions, and detailing, and if appropriate for architectural style.

##### Porch Piers

- Wood, painted or stained.
- Masonry.
- Stone for Craftsman style buildings.
- Smooth or sand-textured stucco.

##### Porch Floors

- Wood, painted or stained.
- Stained concrete.
- Ceramic or stone tile.
- Synthetic composite decking ("Trex" or equal).

##### Porch Ceilings

- Wood, painted or stained.
- Smooth or sand-textured stucco.
- Exposed wood rafters, painted or stained.

#### Prohibited Materials:

- Screen at front porches or balconies at all building types and on required side porch at Type IVA – Sideyard House.

#### Methods and Configurations:

Porches and balconies must be appropriate for architectural style.

If screened porch located in side or rear yard is visible from streets, parks, or walks, screen shall be framed in wood or material appropriate for architectural style. Screen shall be located behind masonry or stucco openings or piers, or columns or wood columns and railings.

Single porch columns shall be at least 6" square or in diameter.



Balustrades shall have top and bottom rails with eased edges, properly proportioned. Top and bottom rail shall be centered on balusters.

Balconies can be cantilevered or supported by columns.

### **Stoops**

#### Acceptable Materials:

- Wood.
- Brick.
- Concrete.

### **Decks**

#### Acceptable Materials:

- Wood.
- Synthetic composite decking ("Trex" or equal).

#### Methods and Configurations:

Decks shall be located in rear yards or side yards only, and only where not visible from streets, parks, or walks. Maximum height for decks is 36" above finished grade.

### **Awnings**

Awnings shall be appropriate for architectural style.

### **Chimneys**

#### Acceptable Materials:

- Sand-textured stucco or plaster with cap and/or coping.
- Brick with cap and/or coping.
- Stone for Craftsman style buildings.

#### Methods and Configurations:

Chimneys located at exterior walls shall extend to the ground. Chimneys must be appropriate for architectural style.

### **Accessibility Ramps and Outdoor Stairs**

Accessibility ramps and outdoor stairs shall be consistent with the architectural style of the building. Elements, materials, and details shall be consistent with principal building.

Where possible, accessibility ramps and outdoor stairs shall be located in the side or rear yards.



## **OUTBUILDINGS AND GARAGES**

### **Acceptable materials:**

The same as principal buildings.

### **Methods and Configurations:**

Outbuildings, including detached garages, garage apartments, granny flats, carriage houses, offices, studios, storage buildings, workshops, and pool houses, are strongly encouraged.

Minimum elevation for habitable portions is 9'-0" above sea level.

Architectural style, materials, detailing, and color shall be similar to the principal building. Outbuildings are subject to the same standards as the principal building.

Attached garages are only allowed if connected by a narrow wing. Wing width can be no more than 25% of lot width, and there must remain a minimum of 12'-0" between the rear of the main body of the principal building and the front of the garage. Garage must then abide by principal building setbacks because the interior is linked.

Outbuildings and garages may be connected to the principal building by a breezeway, covered porch, or pergola. Such outbuildings may still abide by outbuilding setbacks.



## SIGNS

### A. Acceptable Materials (all signs):

- Wood.
- Metal.
- Canvas.
- Painted on building surface.
- Sign foam, high density closed cell polyurethane, 15# minimum.

### B. Permitted Signs:

#### 1. Permanent Accessory Signs:

##### a. Commercial & Mixed Use for Type I - Townhouse:

It is the intent of the Aragon redevelopment area to recapture the turn-of-the-century feeling of commerce in Privateer's Alley and along 9<sup>th</sup> Avenue. To this end, special consideration will be given to a variety of painted signs on brick and stucco walls, building cornices, canopies, and awnings.

The sign may be projected from the building, hung from a bracket that is mounted to a wall or from other ornamental elements on the building, or mounted to or painted on the face of a wall of the building, cornice, canopy, or awning.

Signs projecting from a building and/or extending over public property shall maintain a clear height of 9'-6" above grade and shall not extend above the roof line of the building on which it is attached.

Each mixed use or commercial property shall be limited to one sign per lot per street frontage, per Privateer's Alley frontage, and per rear alley frontage, except a combination of two signs or more may be used on buildings fronting 9<sup>th</sup> Avenue or Privateer's Alley, provided total square footage does not exceed the maximum allowed for frontage.

Advertising display area is not to exceed 35 square feet per street frontage. For Privateer's Alley frontage, advertising display area shall not exceed 20 square feet for one sign or 35 square feet total for two or more signs. For rear alley frontage, advertising display area shall not exceed 12 square feet.

The sign may be illuminated provided the source of light is not visible beyond the property line of the lot on which the sign is located.

##### b. Mixed Use or Residential Home Occupation for Type II through Type VI:

Sign style shall be complementary to the style of the building on the property. The support structure and trim work shall be ornamental as well as functional.

The sign may be projected from the building, hung from a bracket that is mounted to a wall or from other ornamental elements on the building, or attached to the front or one side of the building wall.

Signs projecting from a building and extending over public property shall maintain a clear height of 9'-6" above grade



(8'-0" above grade if not over public property) and shall not extend above the roofline of the building on which it is attached.

Each residential home occupation or mixed use property shall be limited to one sign per lot, located on the street side or alley side.

Advertising display area is not to exceed 10 square feet.

The sign may be illuminated provided the source of light is not visible beyond the property line of the lot on which the sign is located.

c. Residential:

One non-illuminated nameplate designating the name of the occupant of the property. The nameplate shall be no larger than 3 square feet and shall be attached flat against the wall of the building.

d. Municipal or State Signs:

Municipal or state installed directional signs, historical markers and other signs of a general public interest, approved by the AARB.

e. Aragon Neighborhood Signs:

Signs naming the development, or areas such as parks, walkways, community sites, parking areas, etc. These signs may be freestanding.

2. Temporary Accessory Signs

One non-illuminated sign advertising the sale, lease, or rental of the lot or building, not exceeding 2 square feet in area; design as specified by AARB.

One non-illuminated sign not more than 8 square feet in area in connection with new construction work on individual building lots and displayed only during such time as the actual construction work is in progress; design as specified by AARB.

One non-illuminated sign per street frontage not more than 32 square feet in area in connection with new construction work related to Aragon's development, community sites, parks, or Privateer's Alley.

C. Prohibited Signs:

- Any sign using plastic materials for background.
- Internally illuminated signs.
- Portable signs.
- Non-accessory signs.
- Back lit canvas awnings.
- Flashing, strobe, or neon signs.
- Neon signs placed inside a window.
- Freestanding permanent accessory signs on individual building lots.



## **SITE ELEMENTS**

### **SCREENING - GARDEN WALLS, FENCES, CAR GATES, AND LANDSCAPE SCREENING**

#### **Acceptable materials:**

- Wrought iron, painted.
- Decorative metal, painted.
- Decorative wood, painted or stained.
- Brick.
- Smooth or sand-textured stucco.
- Stone for base only.
- Vegetation for landscape screening only and where permitted only.

#### **Prohibited materials:**

- Chain link.
- Barbed wire.
- Exposed concrete block.
- “Dog eared” wood pickets.

#### **Methods and Configurations:**

**Garden Walls:** Garden walls are taller and more opaque than fences. They create private space and provide screening at rear or side yards. Typically, they are located along side property line between principal buildings and outbuildings or, if there is no outbuilding, between principal building and rear property line. They may also be located along rear property line or setback line. In Type I – Townhouse and Type VI – Row

House, a garden wall is permitted at front build-to line if building is set back from side property line.

Minimum opacity for garden walls shall be 80%.

Minimum height for garden walls is 6’-6”. Maximum height is 10’-0”, but is permitted only at locations that lie within the lot’s buildable area and if approved by AARB. See “Heights” in Urban Regulations section for specific requirements of each building type.

Garden walls shall be appropriate for the architectural style and are encouraged to be constructed of the same materials and have similar details as the principal building. Materials can be used in combination where appropriate. Typical wood privacy fences are not permitted. Wood garden walls are encouraged to be double sided and have intermediate posts with caps.

On common property lines, garden walls shall present a simple surface to adjoining neighbor. Compatibility with adjacent lots and buildings will be carefully considered.

For required garden wall locations, see Urban Regulations section.

**Fences:** Fences are ornamental, somewhat transparent barriers between the public and private realm. They are usually located along the front property line and side property line, extending from the front property line to at least the front building wall (except for Type I - Townhouse and Type VI - Row House).

Minimum transparency for fences shall be 20%.

Maximum height for fences located within the required front yard is 4’-0”. See “Heights” in Urban Regulations section for each building type.





Fences shall be appropriate for the architectural style. Fences are encouraged to be constructed of the same materials and have similar details as the principal building. Materials can be used in combination where appropriate.

Pickets and other decorative designs are encouraged for wood and metal fences. Typical wood privacy fences are not permitted.

Compatibility with adjacent lots and buildings will be carefully considered.

For required fence locations, see Urban Regulations section.

**Car Gates:** Swinging gates, minimum 80% opaque and 5'-0" to 6'-6" high, that are used to control vehicular access to rear or side yard and used to screen cars from street. They are permitted only on certain lots. See Urban Regulations section for permitted locations.

**Landscape Screening:** Use of dense, tall vegetation (where allowed) to give privacy to the rear half of the lot or to screen parking, mechanical equipment, or trash receptacles from view. Vegetation must reach 6'-0" minimum height and 75% minimum opacity within three years. This type of screening is allowed only at certain locations. See Urban Regulations section for permitted locations.

## DRIVEWAYS AND PARKING AREAS

### Acceptable Materials:

- Concrete, plain, colored, or stamped.
- Concrete or brick pavers.

- Asphalt (excluding Type IVB - Sideyard House with Street Access and Type V - Small Cottage except at area located behind car gates), plain or colored.
- Oyster or clam shells (excluding Type IVB - Sideyard House with Street Access and Type V - Small Cottage except at area located behind car gates).
- Granite or marble chips (excluding Type IVB - Sideyard House with Street Access and Type V - Small Cottage except at area located behind car gates).
- Gravel (excluding Types IVB and V except at area located behind gates).

### Methods and Configurations:

All driveways and parking areas except Type IVB - Sideyard House with Street Access and Type V - Small Cottage shall be located off alleys. See Urban Regulations for location of parking at Type IVB - Sideyard House with Street Access and Type V - Small Cottage.

See "Parking" in Urban Regulations section for allowed parking locations and screening requirements.

## SIDEWALKS

### Acceptable Materials:

- Concrete, plain, colored, or stamped.
- Concrete or brick pavers.
- Combination of concrete and pavers.

### Methods and Configurations:

New sidewalks will be provided in public rights-of-way and in parks and are to be maintained and repaired to original design if damaged. Sidewalks on individual lots may be other materials if approved by AARB.



## **MISCELLANEOUS**

### **PRIVACY**

To protect privacy in courtyards and rear yards, screening is recommended and in some cases required. See “Architectural Elements” in the Urban Regulations section for each building type.

For Type IV - Sideyard House, windows in walls located on side property line shall be limited to those necessary for light. For Type V - Small Cottage, windows located in the north side wall shall be limited to those necessary for light except at north corner lots. The sill height of these windows must be a minimum 6'-0" above finished floor. Doors are prohibited in walls located on side property line.

For Type I - Townhouse and Type VI - Row House, consideration should be given to sight lines from windows, particularly along sides of buildings; efforts should be made to confine sight lines to the owner's lot.

### **EXTERIOR LIGHTING**

#### **Acceptable materials:**

- Light element—incandescent, halogen, natural gas, metal halide, high pressure sodium.
- Fixture—brass, copper, painted metal.

#### **Prohibited Lights:**

- Pole-mounted high pressure sodium utility/security lights.
- Flood lights.
- Fluorescent lamps.
- Mercury vapor lamps.
- Commercial parking lot area lights, “shoeboxes.”
- Low pressure sodium.

#### **Methods and Configurations:**

Exterior light fixtures must be appropriate for building style.

Lights shall be ornamental in design, post-mounted with maximum height of 12', attached to the building adjacent to entries, or landscaping lights.

Lights should be no brighter than 100 W incandescent, 70 W HID, at entries and pole-mounted lights, 300 W incandescent and 175 W HID at alleys, and 175 W HID for landscaping lights.

Exterior lights shall be located so as not to shine directly into adjacent property.

### **MECHANICAL EQUIPMENT**

#### **Air Conditioning Condensing Units:**

Water source heat pumps and “silent” models are encouraged.

Air conditioning condensing units shall be located in rear or side yards or on roof. If located in the side yard, compatibility



with existing adjacent property owner's building configuration will be carefully considered. At Type V - Small Cottage, units are to be installed in rear or south side yard and shall not be visible from the street.

No mechanical equipment shall be located in the front yard or in Type IVA - Sideyard House side yard unless located to the rear of the required side porch.

No mechanical equipment shall be located on any roof where visible from the street, parks, or walks.

Garden walls, fencing, or landscape screening shall be used to screen condensing units from view from streets, parks, walks, and adjacent property owner. Screening need only be tall enough to block equipment from view.

#### Utility Services:

All utility services including gas and electric meters are to be installed on the alley side of buildings. At Type IVB -Sideyard House with Street Access, gas and electric meters are to be installed in rear or side yards, not visible from street. At Type V - Small Cottage, meters are to be installed in south side yard or rear yard, not visible from the street.

#### **TRASH RECEPTACLES**

Trash receptacles, excluding decorative trash receptacles in parks and parking areas, are to be located and screened so they are not visible from streets, parks, or walks except during pickup times for Type IVB - Sideyard House with Street Access and Type V - Small Cottage. Visual screening may be

achieved by outbuildings, landscape screening (where permitted), or garden walls. See "Architectural Elements" for each building type in Urban Regulations section.

#### **DUMPSTERS**

Individual dumpsters are not permitted except during construction. Check with AARB for limited size allowed for use during construction.

Joint dumpsters for Commercial Type I - Townhouses can be considered by AARB if necessary, at locations recommended and approved by AARB. Screening and architectural enclosure will be required.

#### **SERVICE ENTRANCES AND LOADING DOCKS**

Service entrances and loading docks can be located at the rear of Privateer's Alley sites in approved locations if necessary and approved by AARB. These shall be screened from view by landscape screening or garden walls.

#### **UTILITY FACILITIES**

Utility facilities are to be located in alleys or north or south parking areas if necessary and approved by AARB. Those located in north or south parking areas shall be screened from view by landscape screening or garden walls.



## **DRAINAGE**

Lots are not to be graded to drain onto neighboring lots. All roof drains shall be directed onto owner's lot and to streets, alleys, or parks as prescribed by Aragon's Drainage Plan. No lot owner can alter Aragon's Drainage Plan unless approved during Design Review Process by Aragon's civil engineer, AARB, and any government agency with jurisdiction.

## **COLOR**

All exterior finishes will be carefully reviewed to ensure compatibility with the adjacent Historic District and throughout Aragon. Aragon's palette is available for review from the AARB.

Color selection must consider existing adjacent buildings.

## **MISCELLANEOUS EXTERIOR ITEMS**

Screened pool enclosures are not permitted.

Satellite dishes, permanent grilles, hot tubs, and permanent children's play equipment shall be located in rear yards where they are not visible from streets, walks, or parks.





# LANDSCAPE REQUIREMENTS



## LANDSCAPE REQUIREMENTS

### Landscape Standards

The purpose of the Landscape Standards is to foster a landscaping aesthetic complementary to the surrounding historic neighborhoods and to lay the groundwork for a beautiful neighborhood that will mature over many years. The landscaping is intended to add to a sense of place and intimacy as well as to add shade and beauty.

The character of Aragon landscaping is to be informal. Window boxes and flowers along fences and garden walls are encouraged to add to the welcoming character of the street. Ornamental and heavily manipulated vegetation is discouraged. Plant varieties are to be native to the region, with special emphasis on crepe myrtles, live oaks, and climbing and flowering plants.

Each lot is required to be fully landscaped, with a landscape plan submitted to the AARB at the Construction Document Review. See Appendix for requirements. All proposed new trees and plant material must be clearly shown on the Landscape Plan.

Type II - Cottage, Type III - Park House, and Type IVA - Sideyard House with Alley Access are required to have a minimum of eight 5-gallon shrubs and twelve small shrubs or flowering plants. Type IVB - Sideyard House with Street Access and Type V - Small Cottage are required to have a minimum of five 5-gallon shrubs and eight small shrubs or flowering plants. At Type VI - Row House, areas in front yard not used for front porch and stoop with walks are to be

landscaped with shrubs and flowering plants. The required plants must be visible from the front.

All grassed areas visible from streets, walks, and parks are to be sodded; plugs and sprigging will not be allowed. All grassed areas and planting visible from streets, walks, and parks are to be serviced by an automatic sprinkler system. Such sprinkler systems shall be designed so as to conceal all pumps, sprinkler heads, controls, wiring, and piping as much as practical.

Note that the owner is responsible for landscape and upkeep of utility easement at alley or rear street adjacent to driveway access and side property lines (where present). Owner must sod and limit shrubbery to 24" high so as not to impede vision coming into or out of driveways or alleys. Owner is also responsible for upkeep of landscaped rights-of-way located between front and side property lines and street curb with the exception of trees planted by the city or the developer.

### Screening

At some locations, dense tall vegetation may be used to satisfy screening requirements. Specific locations are outlined in "Architectural Elements" for each building type in the Urban Regulations section. Vegetation must be at least 6'-0" tall and 75% opaque within three years.



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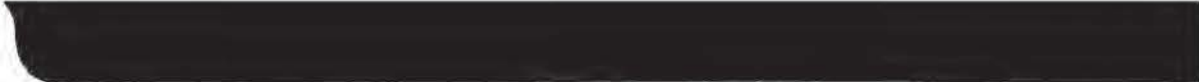
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# REGULATING PLAN



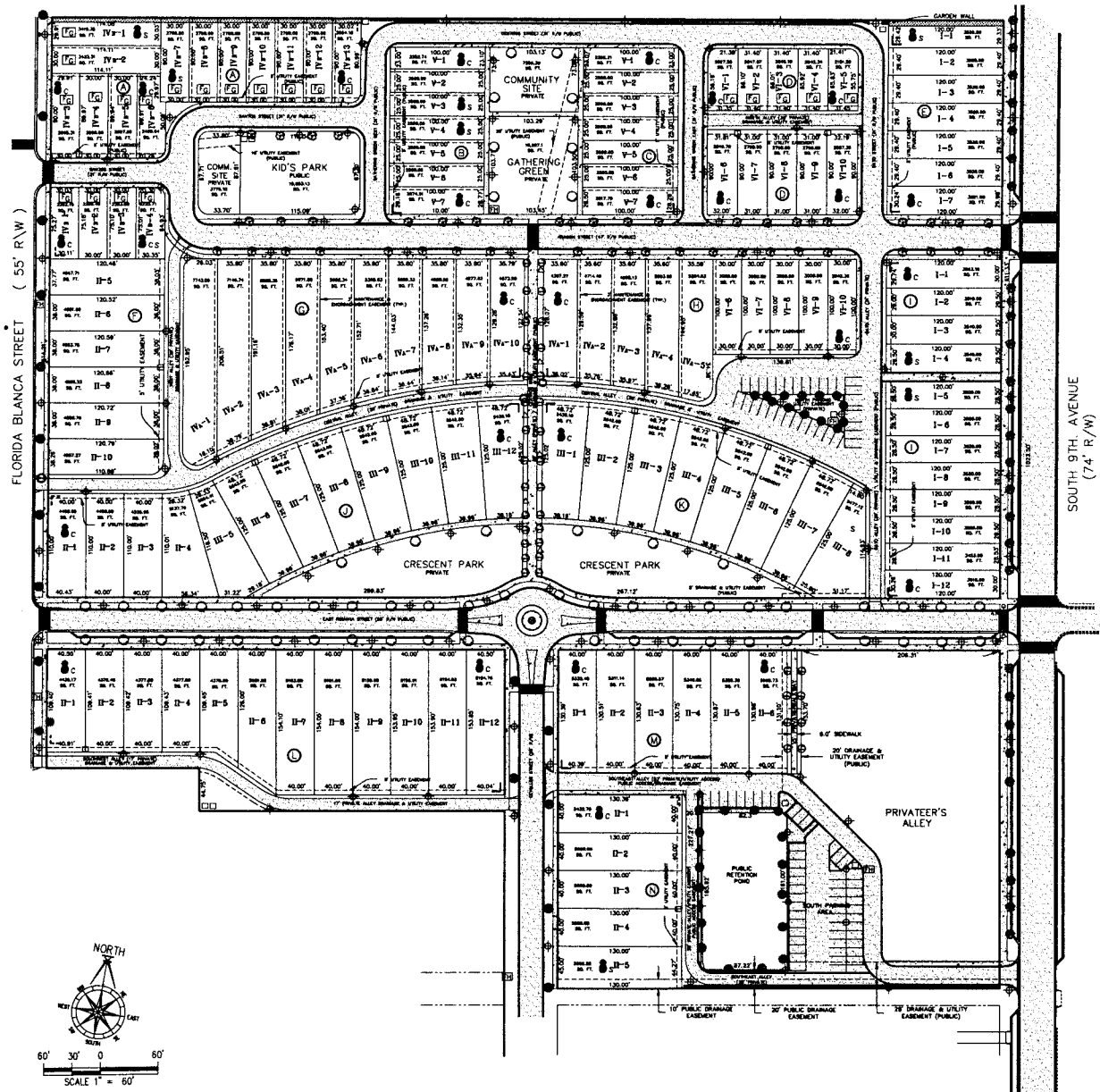
# ARAGON

A TRADITIONAL  
NEIGHBORHOOD DEVELOPMENT  
ARCHITECTURAL AFFAIRS, INC. ARCHITECTS

ZONING DISTRICTS  
NORTH OF ROMANA, GATEWAY REDEVELOPMENT DISTRICT  
SOUTH OF ROMANA, PENSACOLA HISTORIC DISTRICT  
THIS DOCUMENT IS SUBJECT TO CHANGE.  
THIS DOCUMENT IS APPROXIMATE AND NOT TO BE USED FOR CONSTRUCTION.

## REGULATING PLAN

LEGEND	
I	TYPE I - TOWNHOUSE
II	TYPE II - COTTAGE
III	TYPE III - PARK HOUSE
IVa	TYPE IVa - SIDEYARD HOUSE WITH ALLEY ACCESS
IVb	TYPE IVb - SIDEYARD HOUSE WITH STREET ACCESS
V	TYPE V - SMALL COTTAGE
VI	TYPE VI - ROW HOUSE
FG	FAMILY GROUP
PH	FIRE HYDRANT
C	CORNER LOT
S	SPECIAL LOT
BL	BLOCK
SL	STREET LIGHT
BL	BOLLARD LIGHT
A.W.	ARCHWAY
H	HEDGE
E	EASEMENT
G.W.	GARDEN WALL (AT NORTH PROPERTY LINE)
RO	REQUIRED OUTBUILDING BUILD-TO LINE
EO	ENCOURAGED OUTBUILDING BUILD-TO LINE
TL	TRANSFORMER LOCATION
LO	LIVE OAK
LA	LAUREL OAK
CM	CREPE MYRTLES (MULTI TRUNK)
CL	LARGE CREPE MYRTLES (SINGLE TRUNK)
CS	CREPE MYRTLES (SINGLE TRUNK)
EO	EXISTING OAK
RB	RIVERBIRCH
SS	STREET SIGN
CL	CLOCK





# URBAN REGULATIONS



## URBAN REGULATIONS

### Introduction

The purpose of the Urban Regulations is to ensure a high quality community environment with a unique visual harmony and character. While the Architectural Standards regulate the buildings themselves, the Urban Regulations regulate how the buildings relate to their individual site, to each other, and to the public realm. The regulations apply to both new construction and renovation or addition to existing structures.

In order to ensure a cohesive urban environment throughout the entire neighborhood, the Urban Regulations establish some basic site regulations. These regulations also reinforce the community approach to design that the founders of Aragon intend.

The site regulations vary based on the building types which are indicated on the Regulating Plan. To review, these are:

Type I – Townhouse  
Type II – Cottage  
Type III – Park House  
Type IVA – Sideyard House with Alley Access  
Type IVB – Sideyard House with Street Access  
Type V – Small Cottage  
Type VI – Row House

In addition to these lot types are several others which require special attention:

**Community Lots** are those that have been designated on the Regulating Plan for use by the community. Suitable uses

include gazebos, community gardens, and meeting halls (not to exceed 5,000 square feet). There are no other specific requirements because of their unusual nature. These will be subject to the same review process as other lots within Aragon.

**Corner Lots** are those that occur at the intersection of two streets, a street and a walkway, or a park and a walkway. Because of their significant location, they will require special treatment and review. These lots are designated on the Regulating Plan and are further described for each building type as they appear in this section.

**Special Lots** are those lots that occur in locations that make them significant in the community. These generally occur on axis at the end of a street or walkway. Because of their significant location, they will require special treatment and review. These lots are designated on the Regulating Plan.

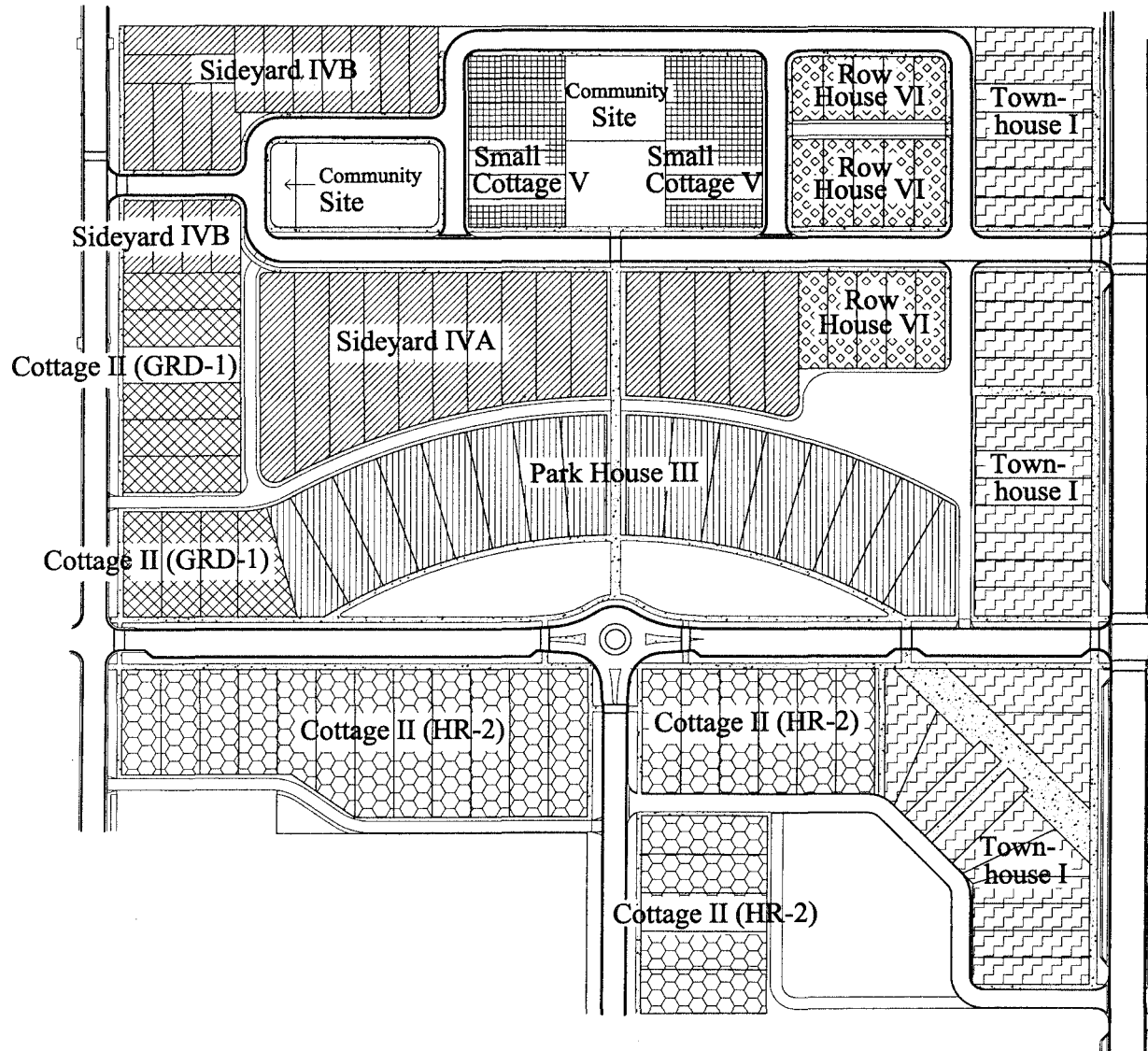
**Family Group Lots** occur within Type IVB - Sideyard House with Street Access and Type VI - Row House building types and are indicated on the Regulating Plan. Up to four of these lots may be consolidated for the purpose of sharing a courtyard, parking, or other central space. These units must be placed to create the same relationship to the street and to adjacent buildings as required of their building type.

Two maps are included within this section to clarify some of the information included in this section as well as on the Regulating Plan.








- 1) The Building Types Plan clarifies the location of each building type.
- 2) The Overlying City Zoning Plan describes the specific location of the overlying city zoning districts.



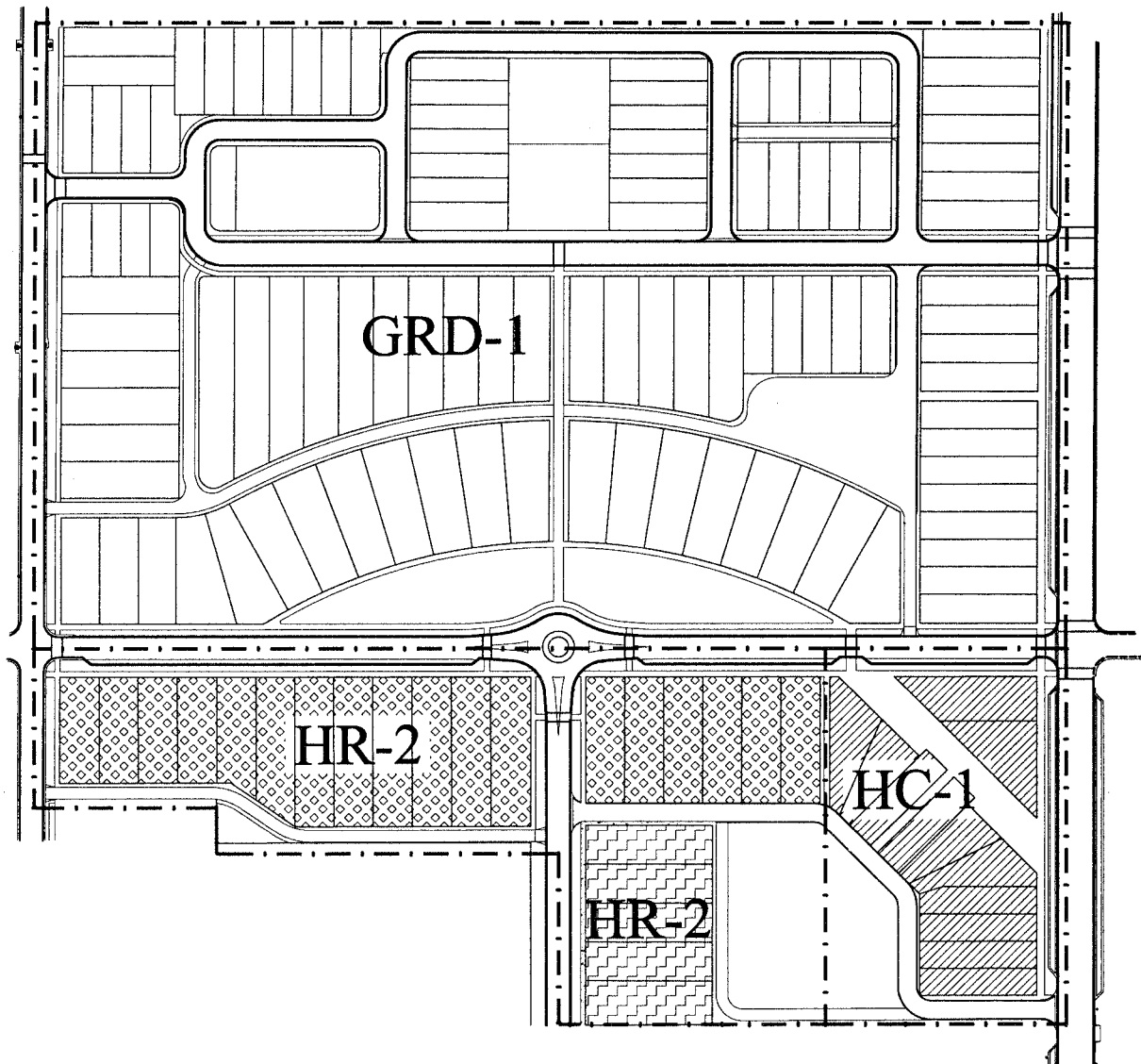
# BUILDING TYPES PLAN



## Building Type Legend




-  Type I - Townhouse
-  Type II (GRD-1) - Cottage
-  Type II (HR-2) - Cottage
-  Type III - Park House
-  Type IVA & IVB - Sideyard House
-  Type V - Small Cottage
-  Type VI - Row House

# OVERLYING CITY ZONING PLAN



## OVERLYING CITY ZONING LEGEND

### HISTORIC DISTRICT ZONING

-  HR-2 Historic Zoning, Wood Cottages District
-  HR-2 Historic Zoning, Brick Structures District
-  HC-1 Historic Zoning, Commercial District

### GATEWAY REDEVELOPMENT DISTRICT ZONING

-  GRD-1 Gateway Redevelopment District

See City of Pensacola's Land Development Code for exact requirements.







TYPE I - TOWNHOUSE



# USE TYPE I - TOWNHOUSE (GRD-1)

## FOR PRINCIPAL BUILDINGS:

USE IS AS INDICATED IN DIAGRAM  
PROVIDED ALL OTHER REQUIREMENTS,  
INCLUDING PARKING, ARE MET.

### RESIDENTIAL USES INCLUDE:

SINGLE AND MULTI-FAMILY RESIDENTIAL,  
ATTACHED OR DETACHED.

HOME OCCUPATIONS OCCUPYING NOT  
MORE THAN 60% OF TOTAL FLOOR  
AREA AND HAVING NOT MORE THAN 2  
NON-FAMILY MEMBERS AS EMPLOYEES.  
BED AND BREAKFAST.

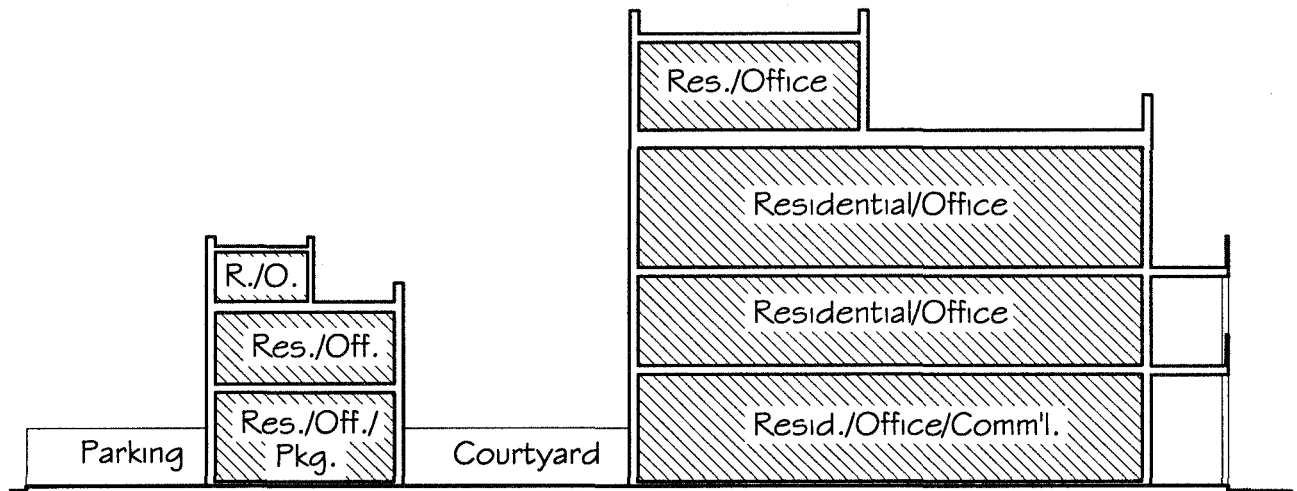
### OFFICE USES INCLUDE:

OFFICES LIMITED TO 5,000 S.F. MAX.

### COMMERCIAL USES INCLUDE: (FIRST FLOOR ONLY EXCEPT STUDIOS WHICH MAY OCCUR AT ANY FLOOR)

ANTIQUE SHOPS, ART GALLERIES,  
BAKERIES, BANKS, BEAUTY SALONS,  
DAY CARE CENTERS, HEALTH CLUBS,  
JEWELERS, DRY CLEANING PICK-UP  
STATIONS, RESTAURANTS, RETAIL  
SALES AND SERVICES, RETAIL FOOD  
AND DRUG STORES, SPECIALTY  
SHOPS, AND STUDIOS.

ALL COMMERCIAL USES LIMITED  
TO 5,000 SQUARE FEET MAXIMUM.



OUTBUILDING

PRINCIPAL BUILDING

## USE DIAGRAM

NOTE: BUILDING SIZE AND LOCATION MAY VARY. SEE "SITING" REQUIREMENTS.

## FOR OUTBUILDINGS:

USE IS AS INDICATED IN DIAGRAM.

USES INCLUDE DETACHED  
GARAGES, GARAGE APART-  
MENTS, STUDIOS, WORKSHOPS,  
STORAGE BUILDINGS, POOL  
HOUSES, CARRIAGE HOUSES,  
GRANNY FLATS AND OFFICES.

OUTBUILDINGS ARE  
ENCOURAGED BUT NOT REQUIRED,  
EXCEPT AS INDICATED  
ON THE REGULATING PLAN.

## LOT CONSOLIDATION:

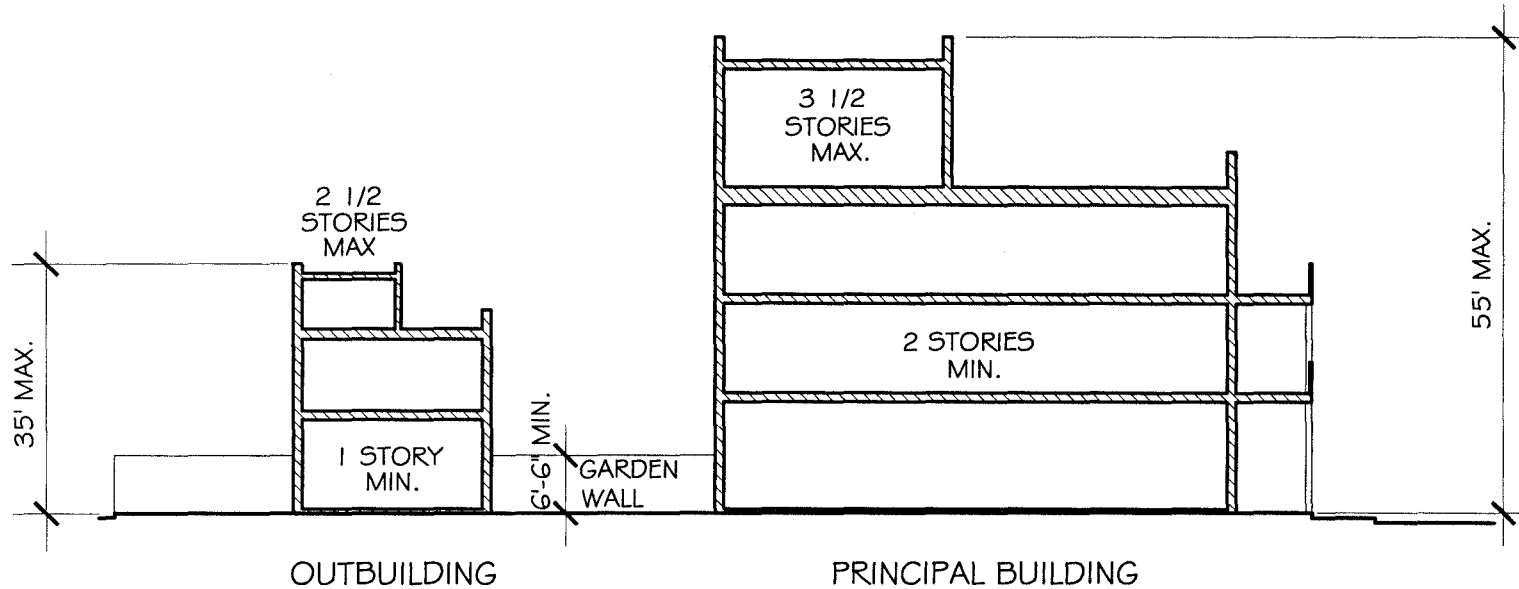
TWO LOTS CAN BE CONSOLIDATED FOR  
THE PURPOSE OF CONSTRUCTING A  
SINGLE BUILDING.

## NUMBER OF UNITS:

THE MINIMUM NUMBER OF UNITS MUST  
EQUAL THE NUMBER OF LOTS  
CONSOLIDATED. THE MAXIMUM NUMBER  
OF RESIDENTIAL, COMMERCIAL, AND  
OFFICE UNITS IS 4 PER LOT.



# HEIGHTS TYPE I - TOWNHOUSE (GRD-1)



## PRINCIPAL BUILDINGS:

MAXIMUM HEIGHT IS 55'-0",  
3 1/2 STORIES.

ROOFTOP ELEMENTS, WITH THE EXCEPTION  
OF CHIMNEYS, MAY NOT EXCEED  
MAXIMUM ALLOWABLE HEIGHT OF  
PRINCIPAL BUILDING. ELEMENTS INCLUDE,  
BUT ARE NOT LIMITED TO, WIDOWS'  
WALKS, ROOF DECKS, TOWERS, TURRETS,  
OR CUPOLAS.

MINIMUM HEIGHT IS 26'-0",  
2 STORIES.

MINIMUM GROUND FLOOR TO CEILING  
HEIGHT IS 12'-0".

MINIMUM UPPER FLOOR TO CEILING  
HEIGHT IS 9'-0".

FIRST FLOOR ELEVATION IS NOT  
REQUIRED TO BE RAISED OFF  
GRADE, BUT MUST BE AT LEAST 9'-0" ABOVE  
SEA LEVEL FOR HABITABLE SPACE.

## OUTBUILDINGS:

MAXIMUM HEIGHT IS 35'-0",  
2 1/2 STORIES.

MINIMUM HEIGHT IS 12'-0",  
1 STORY.

MINIMUM GROUND FLOOR TO CEILING  
HEIGHT IS 8'-0".

MINIMUM UPPER FLOOR TO CEILING  
HEIGHT IS 8'-0".

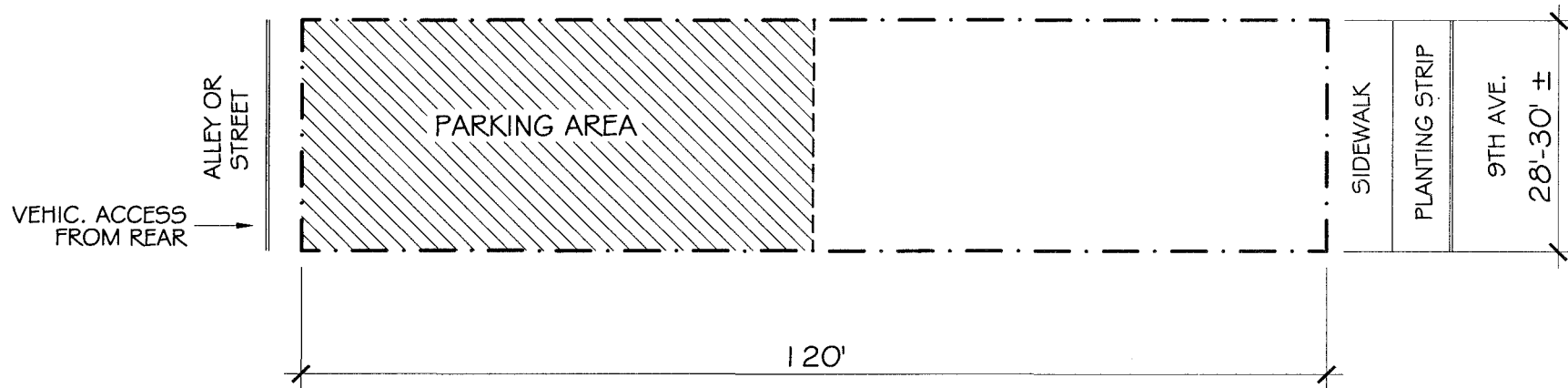
FIRST FLOOR ELEVATION IS NOT  
REQUIRED TO BE RAISED OFF  
GRADE, BUT MUST BE AT LEAST  
9'-0" ABOVE SEA LEVEL FOR  
HABITABLE SPACE.

## GARDEN WALLS:

MINIMUM HEIGHT OF GARDEN WALLS IS  
6'-6". GARDEN WALLS WITHIN BUILDABLE  
AREA (SEE "SITING" SECTIONS) MAY BE UP  
TO 10'-0" IN HEIGHT IF APPROVED BY  
AARB. PILASTERS AND POSTS MAY EXTEND  
UP TO 12" ABOVE THE HEIGHT  
LIMITATIONS.



# PARKING TYPE I - TOWNHOUSE (GRD-1)



## GENERAL REQUIREMENTS:

PARKING MAY BE PROVIDED ONLY IN THE AREA SHOWN AT THE REAR HALF OF THE LOT. ACCESS SHALL BE PROVIDED FROM THE REAR ALLEY OR REAR STREET.

PARKING CAN BE LOCATED IN DETACHED GARAGES OR ON PARKING PADS.

## RESIDENTIAL PARKING REQUIREMENTS:

SINGLE AND MULTI-FAMILY UNITS:  
1 SPACE PER UNIT

HOME OCCUPATION: 1 SPACE PER  
NON-FAMILY EMPLOYEE

BED AND BREAKFAST: 1 SPACE PER  
OWNER PLUS 1 PER SLEEPING ROOM

REQUIRED PARKING MAY BE PROVIDED OFF-SITE  
WITHIN 500' BY THE OWNER IF APPROVED BY  
AARB AND AS SPECIFIED IN THE CITY OF  
PENSACOLA'S LAND DEVELOPMENT CODE.

## COMMERCIAL & OFFICE PARKING REQUIREMENTS:

FOR BEAUTY SHOPS:  
1 SPACE/STATION PLUS 1 SPACE/EMPLOYEE

FOR DAY CARE CENTERS:  
1 SPACE/EMPLOYEE PLUS 1 SPACE/CLASSROOM

FOR HEALTH CLUBS:  
1 SPACE/300 S.F.

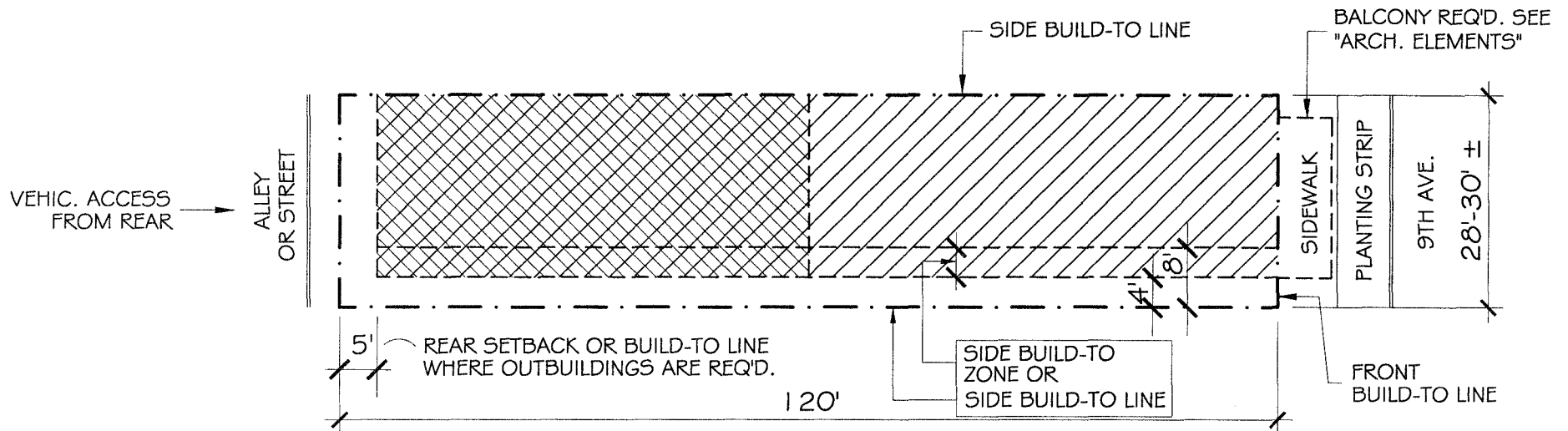
FOR DRY CLEANING PICK-UP STATIONS:  
1 SPACE/EMPLOYEE

FOR ALL OTHER RETAIL AND SERVICE ESTABLISHMENTS  
AND OFFICES, 1 SPACE PER 500 S.F.  
ON-STREET PARKING ON 9TH AVE. AND ROMANA  
ST. WITHIN 500 FEET OF BUILDING CAN BE USED  
TOWARDS MEETING REQUIREMENT FOR NON-  
EMPLOYEE PARKING. ONE OFF-STREET PARKING  
SPACE FOR EACH EMPLOYEE SHALL BE REQUIRED.

REQUIRED PARKING MAY BE PROVIDED OFF-SITE  
BY THE OWNER IF APPROVED BY AARB AND AS  
SPECIFIED IN THE CITY OF PENSACOLA'S  
LAND DEVELOPMENT CODE.



# SITING - INTERIOR LOTS TYPE I - TOWNHOUSE (GRD-1)



## GENERAL REQUIREMENTS:

THE FRONT BUILDING WALL SHALL BE LOCATED ON THE FRONT PROPERTY LINE. AT THE GROUND FLOOR, MAIN ENTRY CAN BE RECESSED, BUT THE WIDTH OF THE RECESS MAY NOT EXCEED 40% OF THE WIDTH OF THE LOT. UPPER FLOORS MUST BE LOCATED ON THE FRONT BUILD-TO LINE.

FRONT BALCONIES EXTEND OVER THE PUBLIC SIDEWALK. SEE "ARCHITECTURAL ELEMENTS."

SIDE BUILD-TO LINE ON ONE SIDE IS THE PROPERTY LINE. ON OTHER SIDE, OWNER MAY BUILD EITHER TO SIDE PROPERTY LINE OR TO BETWEEN 4'-0" AND 8'-0" FROM SIDE PROPERTY LINE. OWNER MAY SELECT WHICH SIDE PROPERTY LINE TO USE AS THE BUILD-TO LINE.

FOR LOT 1-1, OUTBUILDING IS REQUIRED TO SCREEN CARS FROM CENTROS STREET.



THE REAR SETBACK IS 5'-0" FOR PRINCIPAL BUILDING AND OUTBUILDINGS. FOR LOTS WHERE OUTBUILDINGS ARE REQUIRED, THE REAR BUILD-TO LINE IS 5'-0" FROM THE REAR PROPERTY LINE.

COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 80%.

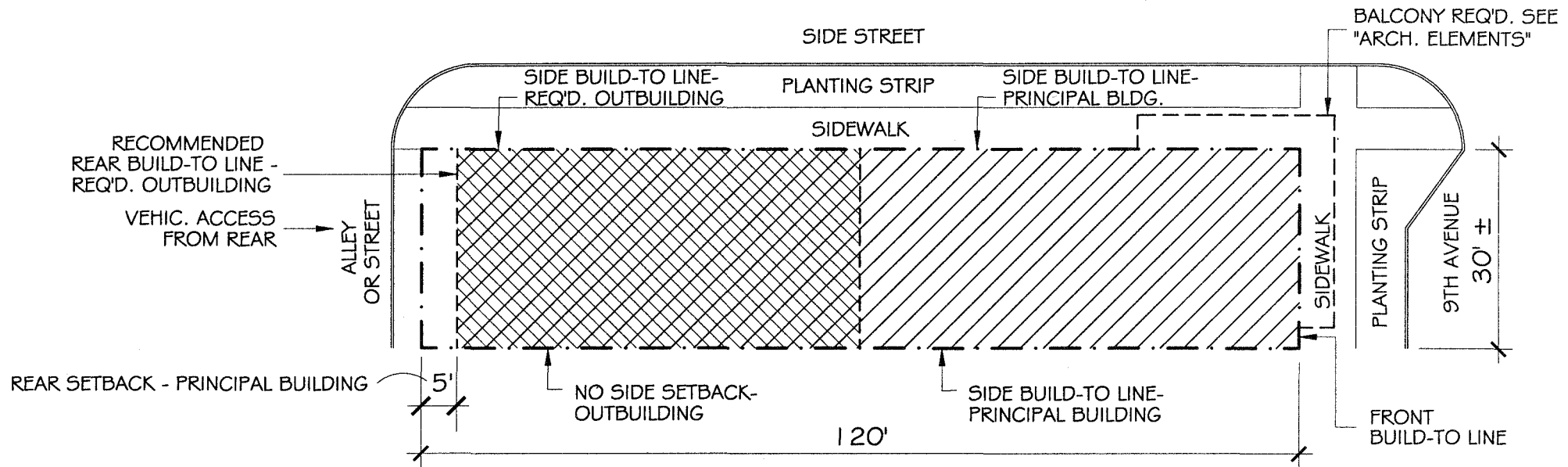
OUTBUILDINGS AND PARKING MAY OCCUR AT THE REAR 1/2 OF THE LOT ONLY.

VEHICULAR ACCESS OCCURS FROM THE REAR STREET OR ALLEY.

## LEGEND

-  PRINCIPAL BUILDING BUILDABLE AREA
-  OUTBUILDING BUILDABLE AREA

# SITING - CORNER LOTS TYPE I - TOWNHOUSE (GRD-1)



## GENERAL REQUIREMENTS:

THE FRONT BUILDING WALL SHALL BE LOCATED ON THE FRONT PROPERTY LINE. AT THE GROUND FLOOR CORNER, MAIN ENTRY CAN BE RECESSED, ANGLED, OR CURVED, NOT TO EXCEED 40% OF THE WIDTH OF THE LOT. UPPER FLOORS CAN BE LOCATED ON THE FRONT BUILD-TO LINE OR TREATED LIKE THE GROUND FLOOR (IF RECESSED).

FRONT & SIDE STREET BALCONIES EXTEND OVER THE PUBLIC SIDEWALK. SEE "ARCHITECTURAL ELEMENTS."

SIDE BUILD-TO LINE FOR PRINCIPAL BUILDING ON BOTH SIDES IS THE PROPERTY LINE. REAR SETBACK FOR PRINCIPAL BUILDING IS 5'-0" FROM REAR PROPERTY LINE.

THE SIDE STREET FACADE SHALL EXTEND A MINIMUM OF 50% OF THE LOT LENGTH.



FOR OUTBUILDINGS, SIDE BUILD-TO LINE IS PROPERTY LINE ON SIDE FACING STREET. OTHER SIDE HAS NO SETBACK. RECOMMENDED REAR BUILD-TO LINE IS 5'-0" FROM REAR PROPERTY LINE.

COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 80%.

OUTBUILDINGS AND PARKING MAY OCCUR AT THE REAR 1/2 OF THE LOT ONLY.

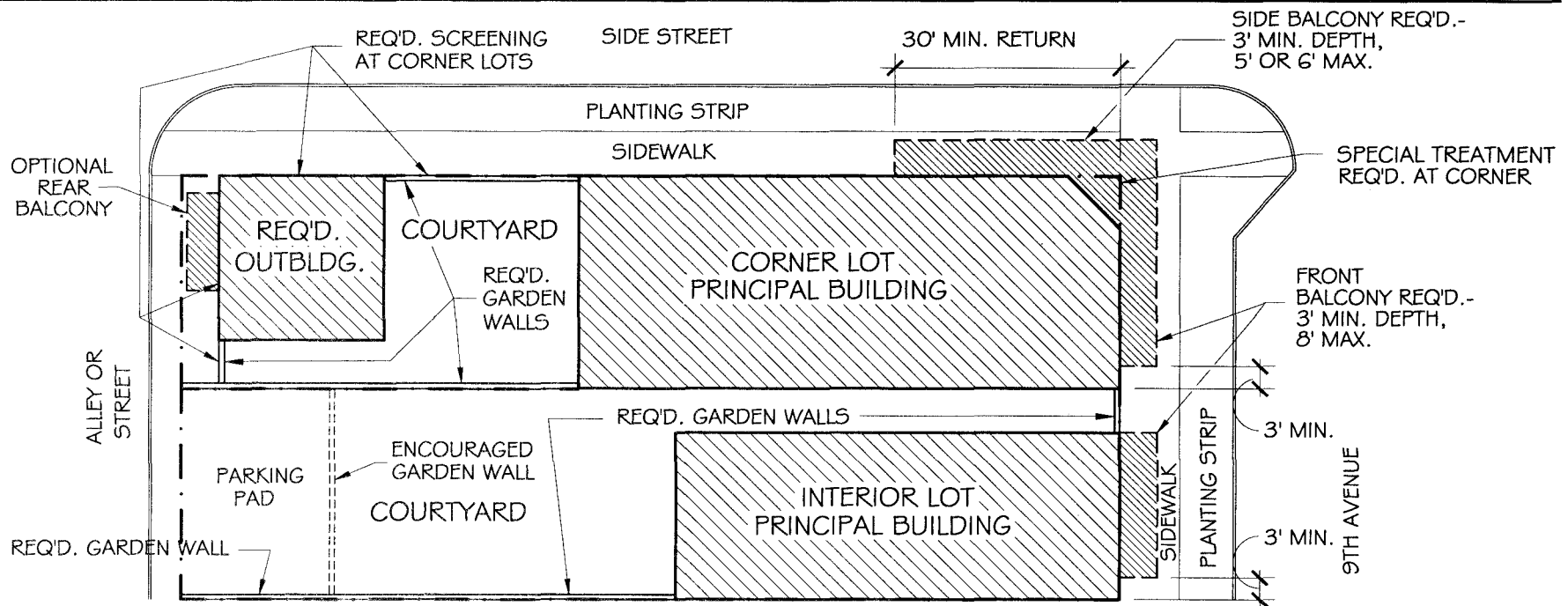
VEHICULAR ACCESS OCCURS FROM THE REAR ALLEY OR REAR STREET.

## LEGEND

-  PRINCIPAL BUILDING BUILDABLE AREA
-  OUTBUILDING BUILDABLE AREA



# ARCHITECTURAL ELEMENTS TYPE I - TOWNHOUSE (GRD-1)



## GENERAL REQUIREMENTS:

### BALCONIES

SECOND FLOOR BALCONIES ARE REQUIRED AT THE FRONT OF PRINCIPAL BUILDINGS. ADDITIONALLY, SIDE BALCONIES ARE REQUIRED ON ALL CORNER BUILDINGS AND SHALL RETURN A MINIMUM OF 30'-0" FROM THE FRONT EDGE OF THE BUILDING. CANTILEVERED BALCONIES SHALL BE A MINIMUM OF 3'-0" DEEP AND SHALL NOT EXTEND BEYOND THE OUTSIDE EDGE OF THE SIDEWALK. FOR BALCONIES SUPPORTED BY COLUMNS, THE OUTSIDE EDGE OF THE COLUMNS SHALL BE LOCATED AT THE OUTSIDE EDGE OF THE PUBLIC SIDEWALK AND THE BALCONY SHALL NOT EXTEND PAST THE COLUMNS. SIDEWALK WIDTH IS 8'-0" AT 9TH AVE., 6'-0" AT ROMANA ST., AND 5'-0" AT ARAGON ST.

FRONT BALCONIES CANNOT BE LOCATED CLOSER THAN 3'-0" FROM THE SIDE PROPERTY LINE, EXCEPT AT SIDE STREET PROPERTY LINES AT CORNER LOTS.

THIRD FLOOR FRONT BALCONIES, REAR BALCONIES, AND BALCONIES AT OUTBUILDINGS AND IN COURTYARDS ARE ENCOURAGED.

CANTILEVERED REAR BALCONIES ARE ALLOWED TO ENCR OACH INTO THE REAR SETBACK IF 8'-0" OF VERTICAL CLEARANCE IS PROVIDED.

### DEFINED BUILDING CORNERS

AT CORNER LOTS, WELL DEFINED BUILDING CORNERS ARE REQUIRED. ATTENTION TO BOTH ELEVATIONS MUST BE CAREFULLY CONSIDERED. ACCEPTABLE BUILDING TREATMENTS INCLUDE: A CURVED CORNER, A 45-DEGREE CORNER, TOWER, TURRET, OR WRAPAROUND BALCONY.

### ADJOINING WALLS ON PROPERTY LINES

PROPERTY OWNERS ARE REQUIRED TO ALLOW ADJACENT BUILDINGS TO MAKE ALL NECESSARY CONNECTIONS INTO WALLS ON PROPERTY LINE FOR PROPER INSTALLATION OF FLASHING AND ALL RELATED WATERPROOFING MATERIALS. FLASHING SHOULD BE DETAILED WITH CAREFUL ATTENTION AND SHOULD NOT DETRACT FROM OVERALL AESTHETIC OF THE BUILDINGS.

### GARDEN WALLS AND SCREENING

GARDEN WALLS ARE REQUIRED ON SIDE PROPERTY LINES WHERE NO BUILDING WALL IS BUILT EXCEPT AT REAR 5'-0" OF LOT AND WHERE ADJACENT OWNERS HAVE AGREED TO SHARE A COURTYARD OR WALKWAY. IF PRINCIPAL BUILDING IS SET BACK FROM SIDE PROPERTY LINE, A GARDEN WALL WITH A GATE IS REQUIRED AT THE FRONT BUILD-TO LINE.

AT INTERIOR LOTS, COURTYARDS ARE ENCOURAGED TO BE SCREENED FROM THE ALLEY BY OUTBUILDINGS AND/OR GARDEN WALLS WITH GATES. TRASH RECEPTACLES MAY BE STORED IN THE REAR HALF OF THE LOT ONLY AND MUST BE SCREENED SO THEY ARE NOT VISIBLE EXCEPT FROM REAR ALLEY.

AT CORNER LOTS, GARDEN WALLS AND OUTBUILDINGS ARE REQUIRED AT REAR TO SCREEN REAR YARD, PARKING, AND TRASH RECEPTACLES. TRASH RECEPTACLES MAY BE STORED IN REAR HALF OF LOT ONLY. GARDEN WALLS SCREENING REAR YARD MAY OCCUR ANYWHERE BETWEEN REAR PROPERTY LINE AND SETBACK LINE.

### PRIVACY

CONSIDERATION SHOULD BE GIVEN TO SIGHT LINES FROM WINDOWS, PARTICULARLY ALONG SIDES OF BUILDINGS. EFFORTS SHOULD BE MADE TO CONFINE SIGHT LINES TO THE OWNER'S LOT.



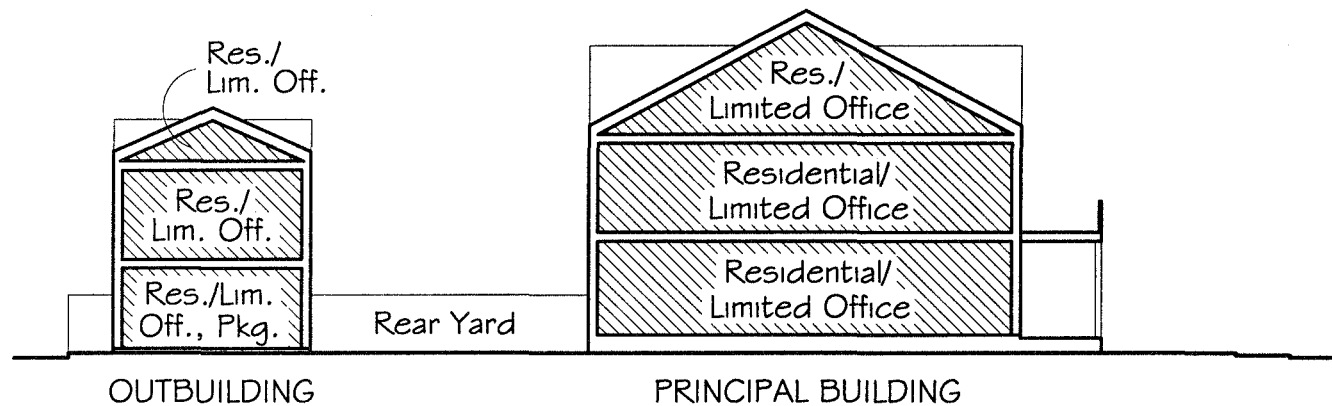


## TYPE II - COTTAGE





# USE TYPE II - COTTAGE (GRD-1)



## USE DIAGRAM

NOTE: BUILDING SIZE AND LOCATION MAY VARY. SEE "SITING" REQUIREMENTS.

### FOR PRINCIPAL BUILDINGS:

USE IS AS INDICATED IN DIAGRAM.

#### RESIDENTIAL USES INCLUDE:

SINGLE AND MULTI-FAMILY RESIDENTIAL, ATTACHED OR DETACHED.

HOME OCCUPATIONS OCCUPYING NOT MORE THAN 60% OF TOTAL FLOOR AREA AND HAVING NOT MORE THAN 2 NON-FAMILY MEMBERS AS EMPLOYEES.

BED AND BREAKFAST.

#### LIMITED OFFICE USES INCLUDE:

OFFICES LIMITED TO 3,000 SQUARE FEET, PROVIDED SINGLE AND MULTI-FAMILY RESIDENTIAL USE OCCUPIES AT LEAST 50% OF THE TOTAL SQUARE FOOTAGE OF THE PRINCIPAL BUILDING AND OUTBUILDINGS. ALL OTHER REQUIREMENTS INCLUDING PARKING MUST BE MET.

### FOR OUTBUILDINGS:

USE IS AS INDICATED IN DIAGRAM.

USES INCLUDE DETACHED GARAGES, GARAGE APARTMENTS, STUDIOS, WORKSHOPS, STORAGE BUILDINGS, POOL HOUSES, CARRIAGE HOUSES, GRANNY FLATS AND LIMITED OFFICE USE.

OUTBUILDINGS ARE ENCOURAGED BUT NOT REQUIRED, EXCEPT EXCEPT AS INDICATED ON THE REGULATING PLAN.

### LOT CONSOLIDATION:

LOTS CANNOT BE CONSOLIDATED FOR THE PURPOSE OF CONSTRUCTING A SINGLE BUILDING.

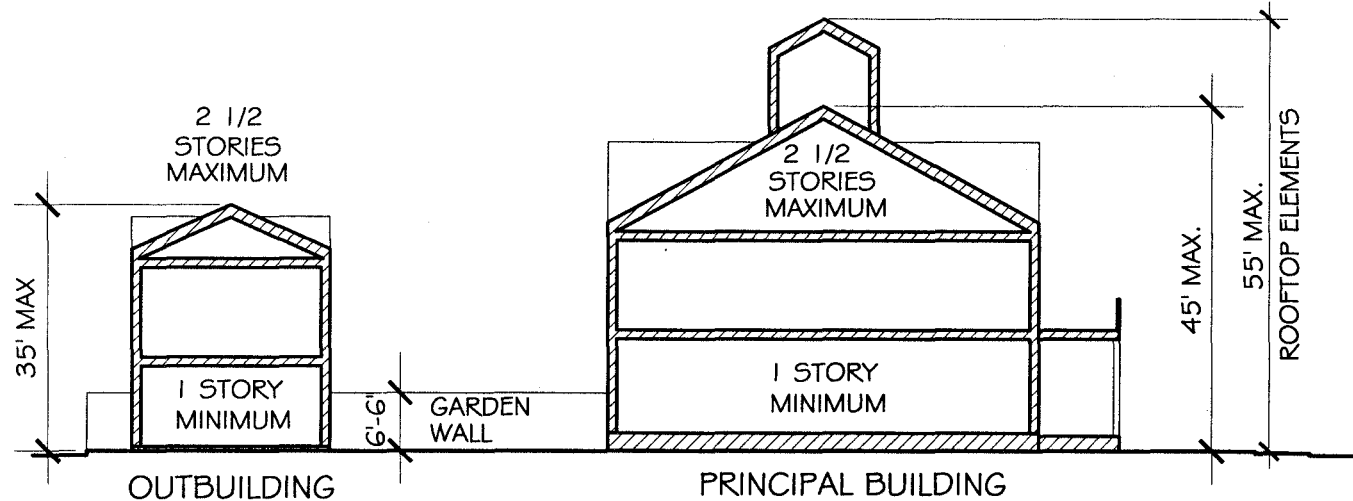
### NUMBER OF UNITS:

MAXIMUM NUMBER OF RESIDENTIAL AND OFFICE UNITS IS 3 PER LOT.



# HEIGHTS

## TYPE II - COTTAGE (GRD-1)



### PRINCIPAL BUILDINGS:

MAXIMUM HEIGHT IS 45'-0",  
2 1/2 STORIES.

ROOFTOP ELEMENTS, WITH THE EXCEPTION  
OF CHIMNEYS, MAY NOT EXCEED 55'-0".  
ELEMENTS INCLUDE, BUT ARE NOT LIMITED  
TO, WIDOWS' WALKS, ROOF DECKS,  
TOWERS, TURRETS AND CUPOLAS.

MINIMUM CEILING HEIGHT IS 13'-6"  
ABOVE GRADE FOR 1 STORY  
BUILDING.

MINIMUM GROUND FLOOR TO CEILING  
HEIGHT IS 10'-0" FOR 2 STORY  
BUILDING.

MINIMUM UPPER FLOOR TO CEILING  
HEIGHT IS 9'-0".

FIRST FLOOR ELEVATION MUST BE  
RAISED 1'-6" TO 3'-0" OFF GRADE.  
MINIMUM FIRST FLOOR ELEVATION  
MUST BE AT LEAST 9'-0"  
ABOVE SEA LEVEL.

### OUTBUILDINGS:

MAXIMUM HEIGHT IS 35'-0",  
2 1/2 STORIES.

MINIMUM CEILING HEIGHT IS 9'-0"  
ABOVE GRADE FOR 1 STORY  
BUILDING.

MINIMUM GROUND FLOOR TO CEILING  
HEIGHT IS 8'-0" FOR 2 STORY BLDG.

MINIMUM UPPER FLOOR TO CEILING  
HEIGHT IS 8'-0".

FIRST FLOOR ELEVATION IS NOT  
REQUIRED TO BE RAISED OFF GRADE.  
MINIMUM FIRST FLOOR ELEVATION  
MUST BE AT LEAST 9'-0" ABOVE SEA  
LEVEL FOR HABITABLE SPACE.

### GARDEN WALLS:

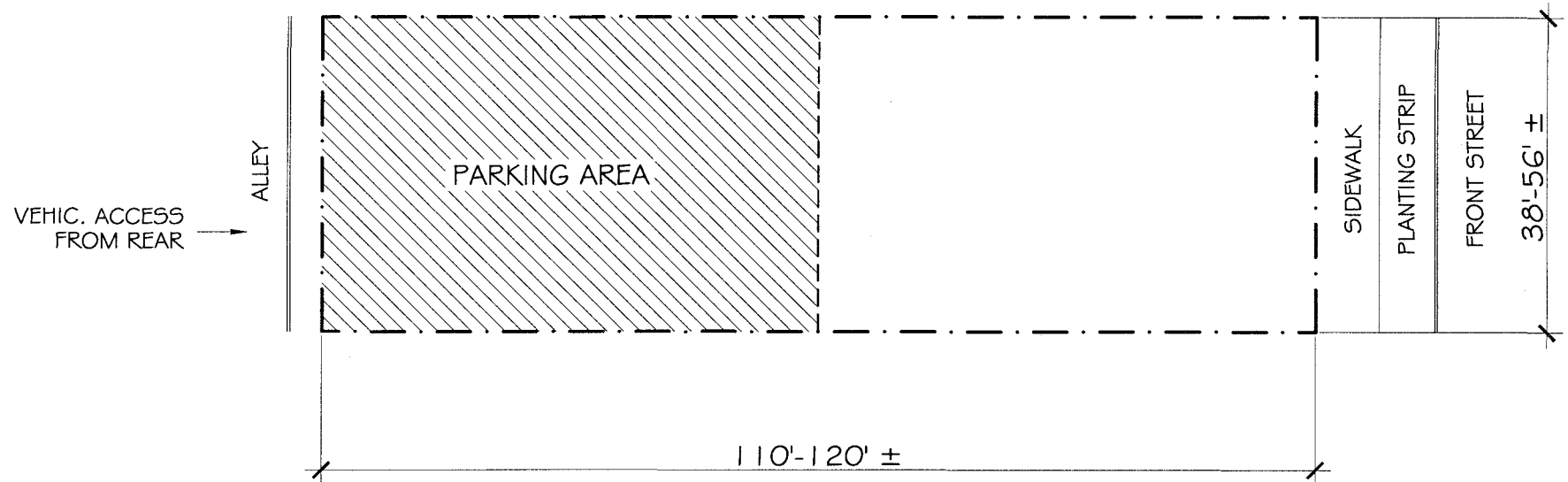
REQUIRED HEIGHT IS 6'-6".  
PILASTERS AND POSTS MAY  
EXTEND UP TO 12" ABOVE THE  
HEIGHT LIMITATIONS.

### FENCES:

MAXIMUM HEIGHT IS 4'-0"  
FOR FENCES IN FRONT YARDS.  
PILASTERS AND POSTS MAY  
EXTEND UP TO 12" ABOVE THE  
HEIGHT LIMITATIONS.



# **PARKING** **TYPE II - COTTAGE (GRD-1)**



## **GENERAL REQUIREMENTS:**

PARKING SHALL BE PROVIDED IN THE AREA SHOWN AT THE REAR HALF OF THE LOT. ACCESS SHALL BE PROVIDED FROM THE REAR ALLEY.

PARKING CAN BE LOCATED IN DETACHED GARAGES OR ON PARKING PADS.

## **RESIDENTIAL PARKING REQUIREMENTS:**

SINGLE AND MULTI-FAMILY UNITS:  
 1 SPACE PER UNIT

HOME OCCUPATION: 1 SPACE PER  
 NON-FAMILY EMPLOYEE

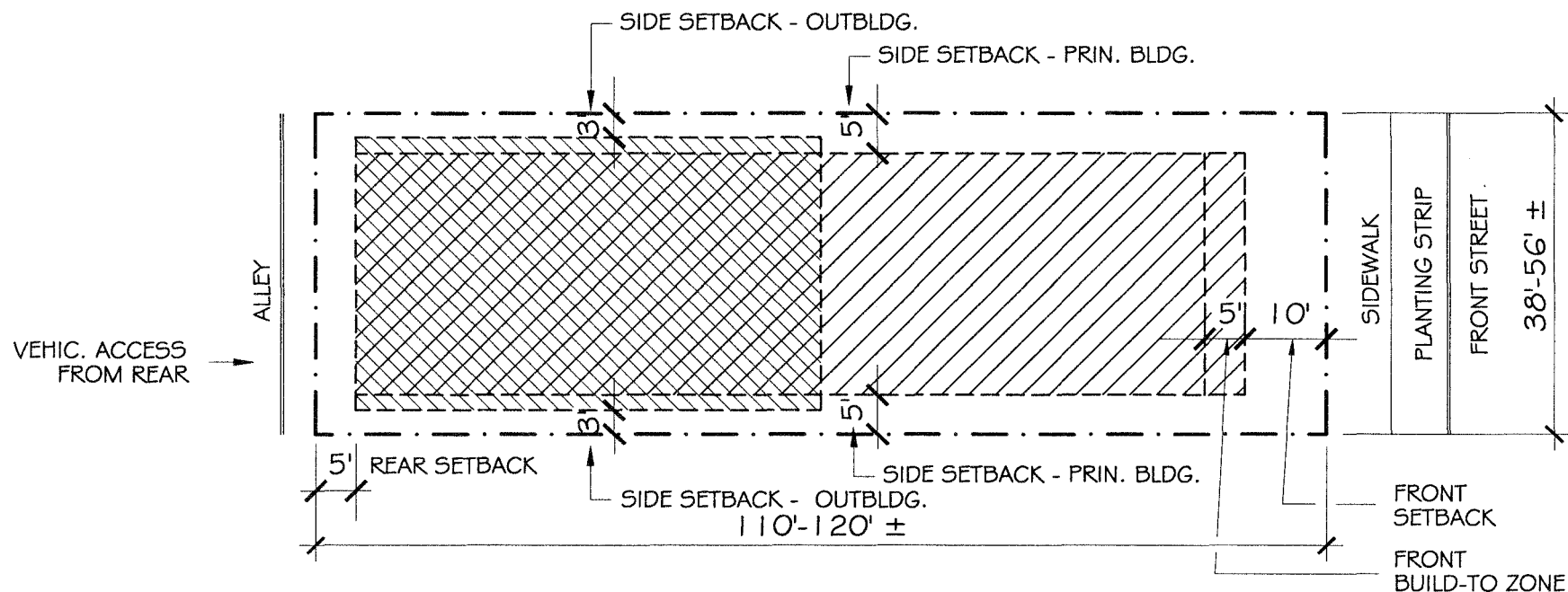
BED AND BREAKFAST: 1 SPACE PER  
 OWNER PLUS 1 PER SLEEPING ROOM

## **LIMITED OFFICE PARKING REQUIREMENTS:**

1 SPACE PER 500 S.F.



# SITING - INTERIOR LOTS TYPE II - COTTAGE (GRD-1)



## GENERAL REQUIREMENTS:

FRONT FACADE SHALL BE LOCATED WITHIN THE FRONT BUILD-TO ZONE, 10'-0" TO 15'-0" FROM THE FRONT PROPERTY LINE. THE BUILDING WIDTH SHALL BE BUILT TO AT LEAST 50% OF THE LOT WIDTH.

SIDE SETBACK IS 5'-0" FOR THE PRINCIPAL BUILDING AND 3'-0" FOR OUTBUILDINGS.



THE REAR SETBACK IS 5'-0" FOR PRINCIPAL BUILDING AND OUTBUILDINGS.

COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 75%.

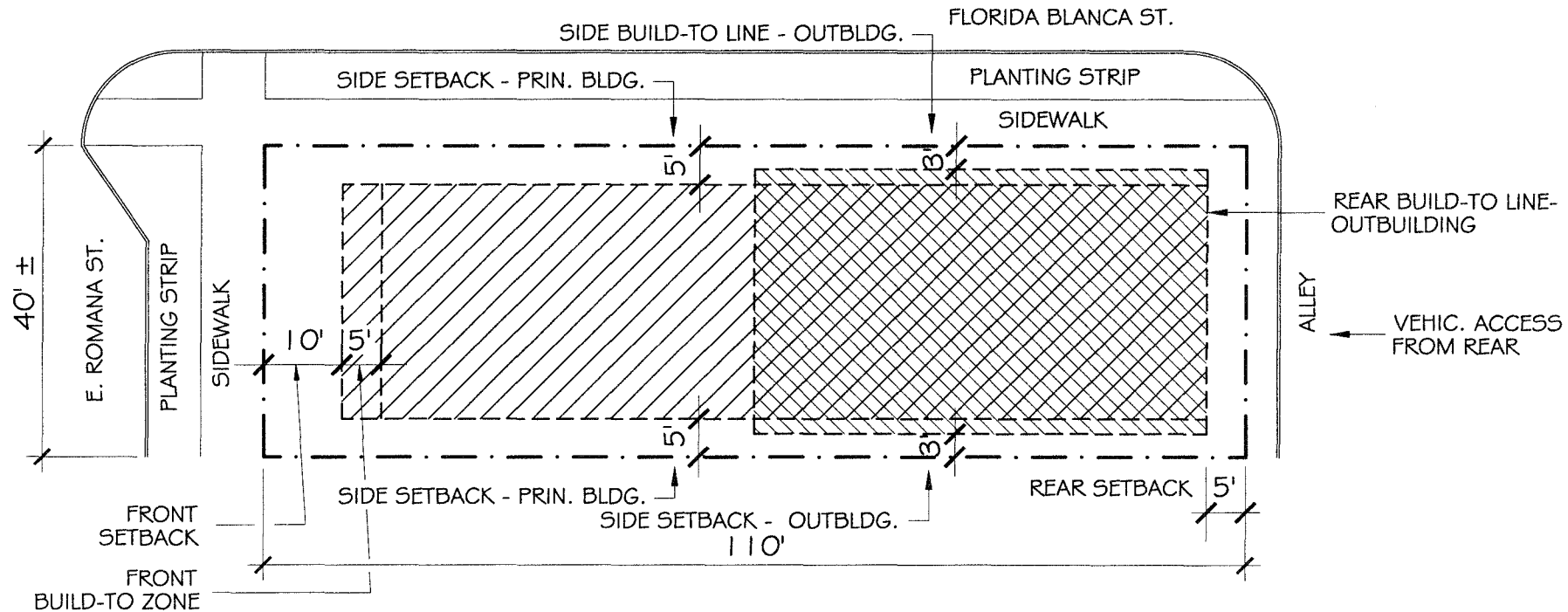
OUTBUILDINGS AND PARKING MAY OCCUR AT THE REAR 1/2 OF THE LOT ONLY.

VEHICULAR ACCESS OCCURS FROM THE REAR ALLEY.

## LEGEND

-  PRINCIPAL BUILDING BUILDABLE AREA
-  OUTBUILDING BUILDABLE AREA

# SITING - CORNER LOTS TYPE II - COTTAGE (GRD-1)



## GENERAL REQUIREMENTS:

FRONT FACADE SHALL BE LOCATED WITHIN THE FRONT BUILD-TO ZONE, 10'-0" TO 15'-0" FROM THE FRONT PROPERTY LINE. THE BUILDING WIDTH SHALL BE BUILT TO AT LEAST 50% OF THE LOT WIDTH.

SIDE SETBACK IS 5'-0" FOR THE PRINCIPAL BUILDING AND 3'-0" FOR OUTBUILDINGS.

THE FLORIDA BLANCA ST. FACADE SHALL EXTEND A MIN. OF 25% OF THE LOT LENGTH.



THE REAR SETBACK IS 5'-0" FOR PRINCIPAL BUILDING AND OUTBUILDINGS. FOR LOTS WHERE OUTBUILDINGS ARE RECOMMENDED, THE REAR BUILD-TO LINE IS 5'-0" FROM THE REAR PROPERTY LINE AND THE SIDE BUILD-TO LINE IS 3'-0" FROM SIDE STREET PROPERTY LINE.

COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 75%.

OUTBUILDINGS AND PARKING MAY OCCUR AT THE REAR 1/2 OF THE LOT ONLY.

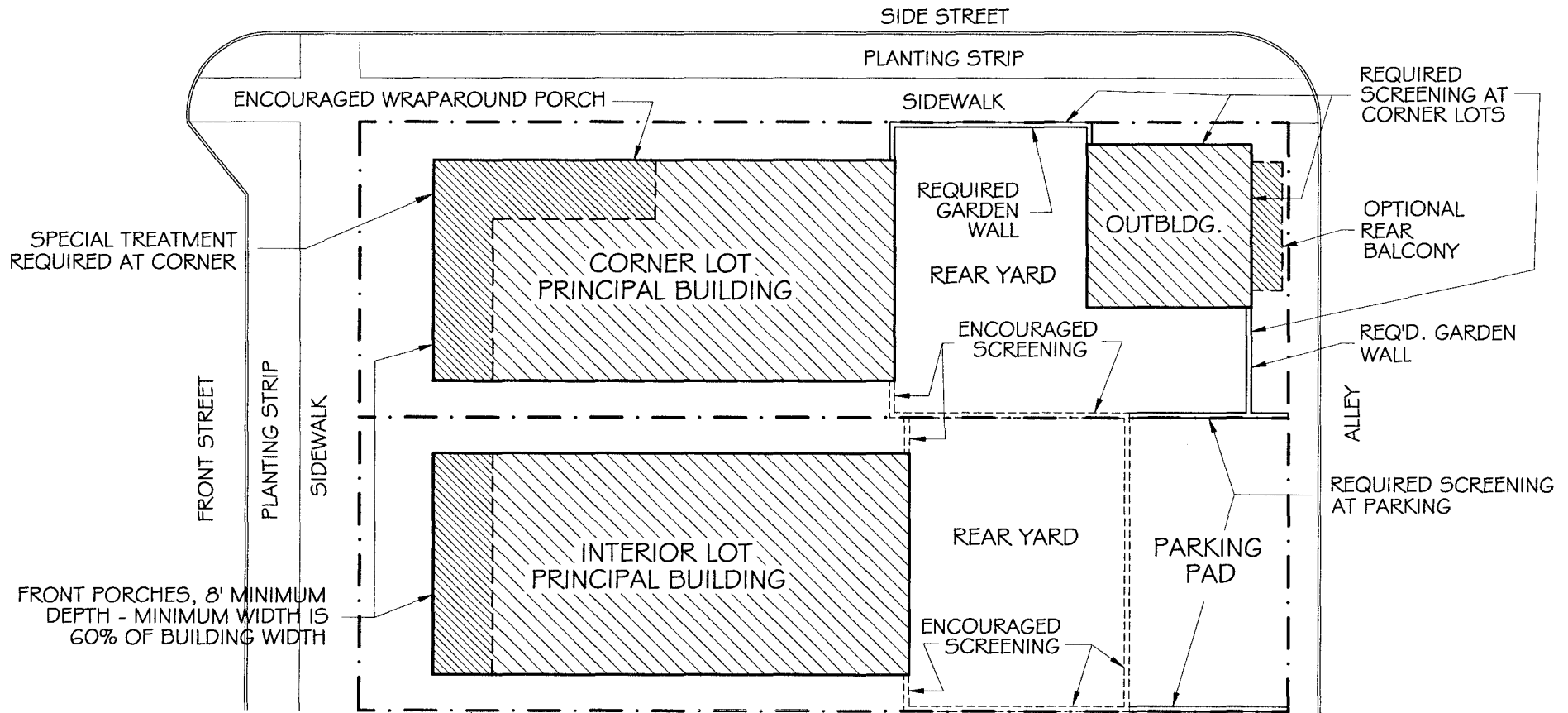
VEHICULAR ACCESS OCCURS FROM THE REAR ALLEY.

## LEGEND

-  PRINCIPAL BUILDABLE AREA
-  OUTBUILDING BUILDABLE AREA



# ARCHITECTURAL ELEMENTS TYPE II - COTTAGE (GRD-1)



## GENERAL REQUIREMENTS:

### PORCHES AND BALCONIES

FRONT PORCHES ARE REQUIRED AT THE FIRST FLOOR OF THE PRINCIPAL BUILDING. FRONT PORCHES SHALL BE A MINIMUM OF 8'-0" DEEP. THE WIDTH SHALL BE AT LEAST 60% OF THE WIDTH OF THE BUILDING. THE OUTER PORCH EDGE SHALL BE LOCATED WITHIN THE FRONT BUILD-TO ZONE.

AT CORNER LOTS, WRAPAROUND PORCHES ARE ENCOURAGED. THE PORCH WIDTH AND DEPTH AT THE SIDE SHOULD BE SIMILAR TO THE WIDTH AND DEPTH AT THE FRONT.

CANTILEVERED REAR BALCONIES ARE ALLOWED TO ENCROACH INTO THE REAR SETBACK IF 8'-0" OF VERTICAL CLEARANCE IS PROVIDED.

SECOND FLOOR FRONT PORCHES AND BALCONIES, AND REAR AND SIDE PORCHES AND BALCONIES ON ALL BUILDINGS, ARE ENCOURAGED.

### DEFINED BUILDING CORNERS

AT CORNER LOTS, WELL DEFINED BUILDING CORNERS ARE REQUIRED. ATTENTION TO BOTH ELEVATIONS MUST BE CAREFULLY CONSIDERED. ACCEPTABLE BUILDING TREATMENTS INCLUDE: A CURVED CORNER, A 45-DEGREE ANGLED CORNER, TOWER, TURRET, OR WRAPAROUND PORCH.

### CHIMNEYS AND STOOPS

FRONT STOOP CAN ENCROACH INTO FRONT SETBACK UP TO 3'-6". CHIMNEYS MAY ENCROACH INTO SIDE SETBACK.

### GARDEN WALLS, FENCES, AND SCREENING

FENCES ARE ALLOWED AT FRONT PROPERTY LINES AND SIDE PROPERTY LINES BETWEEN FRONT LOT CORNER AND REAR PRINCIPAL BUILDING CORNER.

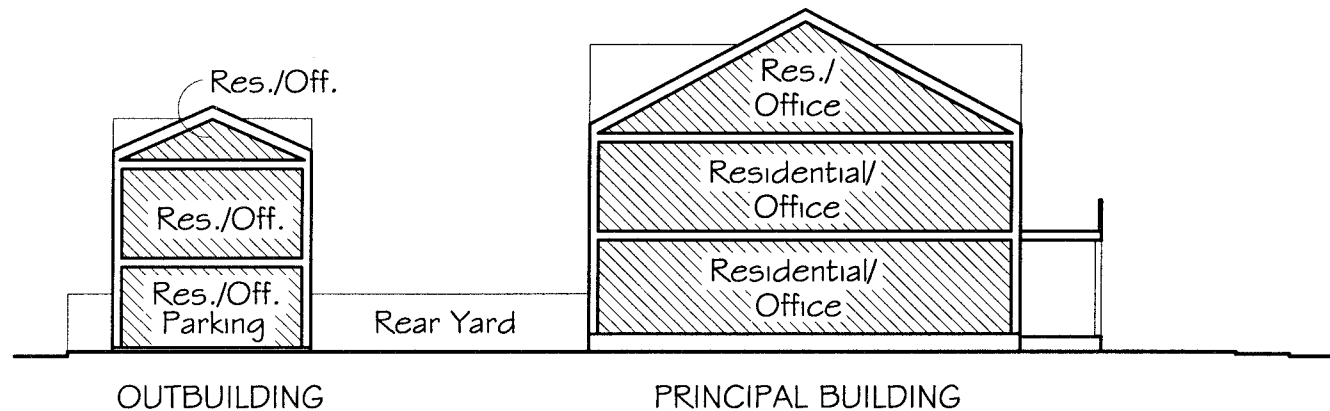
GARDEN WALLS OR LANDSCAPE SCREENING IS ENCOURAGED ON SIDE PROPERTY LINES AT REAR YARDS BETWEEN ADJACENT PROPERTIES.

AT INTERIOR LOTS, REAR YARDS ARE ENCOURAGED TO BE SCREENED FROM THE ALLEY BY OUTBUILDINGS AND GARDEN WALLS OR LANDSCAPE SCREENING. SCREENING IS REQUIRED AT SIDE PROPERTY LINES ADJACENT TO PARKING PAD. ANY ADDITIONAL SCREENING NECESSARY TO COMPLETELY SCREEN PARKING PAD FROM ADJACENT LOTS IS REQUIRED. TRASH RECEPTACLES MAY BE STORED IN THE REAR HALF OF THE LOT ONLY AND MUST BE SCREENED SO THEY ARE NOT VISIBLE EXCEPT FROM REAR ALLEY.

AT CORNER LOTS, GARDEN WALLS AND/OR OUTBUILDINGS ARE REQUIRED AT SIDE STREET AND REAR TO SCREEN REAR YARDS, PARKING, AND TRASH RECEPTACLES. TRASH RECEPTACLES MAY BE STORED IN THE REAR HALF OF THE LOT ONLY. GARDEN WALLS SCREENING REAR YARD (AT SIDE AND REAR) MAY OCCUR ANYWHERE BETWEEN PROPERTY LINE AND SETBACK LINE. SIDE YARD GARDEN WALL MAY RETURN TO REAR CORNER OF PRINCIPAL BUILDING OR MAY OVERLAP UP TO 25% OF BUILDING LENGTH.



## USE TYPE II - COTTAGE (HR-2)



### USE DIAGRAM

NOTE: BUILDING SIZE AND LOCATION MAY VARY. SEE "SITING" REQUIREMENTS.

#### FOR PRINCIPAL BUILDINGS:

USE IS AS INDICATED IN DIAGRAM.

##### RESIDENTIAL USES INCLUDE:

SINGLE AND MULTI-FAMILY RESIDENTIAL,  
ATTACHED OR DETACHED.

HOME OCCUPATIONS NOT OCCUPYING  
MORE THAN 60% OF TOTAL FLOOR  
AREA AND HAVING NOT MORE THAN 2  
NON-FAMILY MEMBERS AS EMPLOYEES.

BED AND BREAKFAST.

##### OFFICE USES INCLUDE:

OFFICES LIMITED TO 3,000 SQUARE FEET.

#### FOR OUTBUILDINGS:

USE IS AS INDICATED IN DIAGRAM.

USES INCLUDE DETACHED GARAGES,  
GARAGE APARTMENTS, STUDIOS,  
WORKSHOPS, STORAGE BUILDINGS,  
POOL HOUSES, CARRIAGE HOUSES,  
GRANNY FLATS, AND OFFICES.

OUTBUILDINGS ARE  
ENCOURAGED BUT NOT REQUIRED,  
EXCEPT AS INDICATED  
ON THE REGULATING PLAN.

#### LOT CONSOLIDATION:

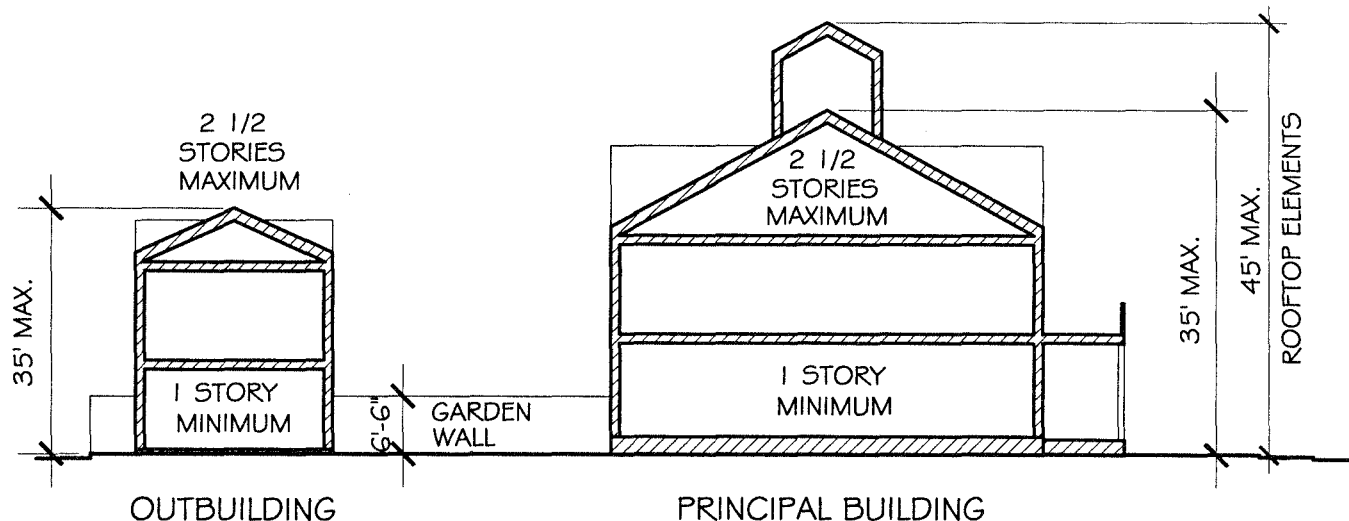
LOTS CANNOT BE CONSOLIDATED FOR  
THE PURPOSE OF CONSTRUCTING A  
SINGLE BUILDING.

#### NUMBER OF UNITS:

MAXIMUM NUMBER OF RESIDENTIAL  
AND OFFICE UNITS IS 3 PER LOT.



# HEIGHTS TYPE II - COTTAGE (HR-2)



## PRINCIPAL BUILDINGS:

MAXIMUM HEIGHT IS 35'-0",  
2 1/2 STORIES.

ROOFTOP ELEMENTS, WITH THE EXCEPTION OF  
CHIMNEYS, MAY NOT EXCEED 45'-0". ELEMENTS  
INCLUDE, BUT ARE NOT LIMITED TO, WIDOWS'  
WALKS, ROOF DECKS, TOWERS, TURRETS, AND  
CUPOLAS.

MINIMUM CEILING HEIGHT  
IS 13'-6" ABOVE GRADE FOR 1  
STORY BUILDING.

MINIMUM GROUND FLOOR TO CEILING  
HEIGHT IS 10'-0" FOR 2 STORY BUILDING.

MINIMUM UPPER FLOOR TO CEILING  
HEIGHT IS 9'-0".

FIRST FLOOR ELEVATION MUST BE RAISED  
1'-6" TO 3'-0" OFF GRADE. MINIMUM  
FIRST FLOOR ELEVATION MUST BE AT  
LEAST 9'-0" ABOVE SEA LEVEL.

## OUTBUILDINGS:

MAXIMUM HEIGHT IS 35'-0",  
2 1/2 STORIES.

MINIMUM CEILING HEIGHT IS 9'-0"  
ABOVE GRADE FOR 1 STORY  
BUILDING.

MINIMUM GROUND FLOOR TO CEILING  
HEIGHT IS 8'-0" FOR 2 STORY BLDG.

MINIMUM UPPER FLOOR TO CEILING  
HEIGHT IS 8'-0".

FIRST FLOOR ELEVATION IS NOT  
REQUIRED TO BE RAISED OFF GRADE.  
MINIMUM FIRST FLOOR ELEVATION MUST  
BE AT LEAST 9'-0" ABOVE SEA LEVEL  
FOR HABITABLE SPACE.

## GARDEN WALLS:

REQUIRED HEIGHT IS 6'-6".  
PILASTERS AND POSTS MAY  
EXTEND UP TO 12" ABOVE THE  
HEIGHT LIMITATIONS.

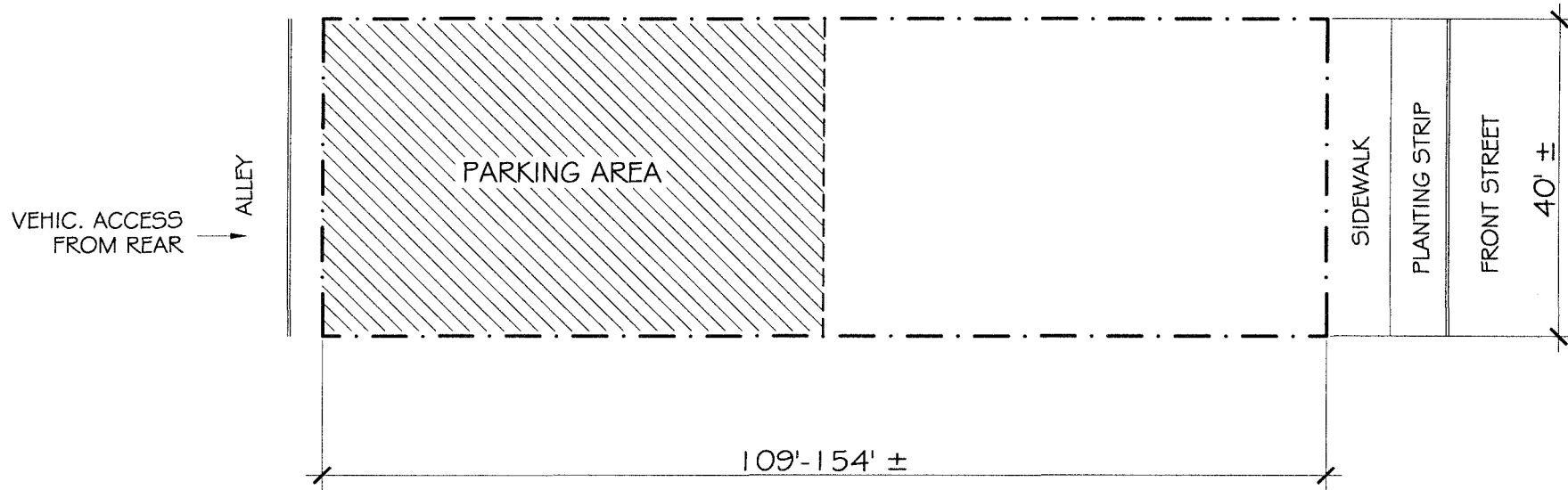
## FENCES:

MAXIMUM HEIGHT IS 4'-0"  
FOR FENCES IN FRONT YARDS.  
PILASTERS AND POSTS MAY  
EXTEND UP TO 12" ABOVE THE  
HEIGHT LIMITATIONS.





# **PARKING TYPE II - COTTAGE (HR-2)**



## **GENERAL REQUIREMENTS:**

PARKING SHALL BE PROVIDED IN THE AREA SHOWN AT THE REAR HALF OF THE LOT. ACCESS SHALL BE PROVIDED FROM THE REAR ALLEY.

PARKING CAN BE LOCATED IN DETACHED GARAGES OR ON PARKING PADS.

## **RESIDENTIAL PARKING REQUIREMENTS:**

SINGLE FAMILY, DUPLEX AND ACCESSORY UNITS:  
1 SPACE PER UNIT

MULTI-FAMILY UNITS:  
2 SPACES PER UNIT

HOME OCCUPATION: 1 SPACE PER  
NON-FAMILY EMPLOYEE

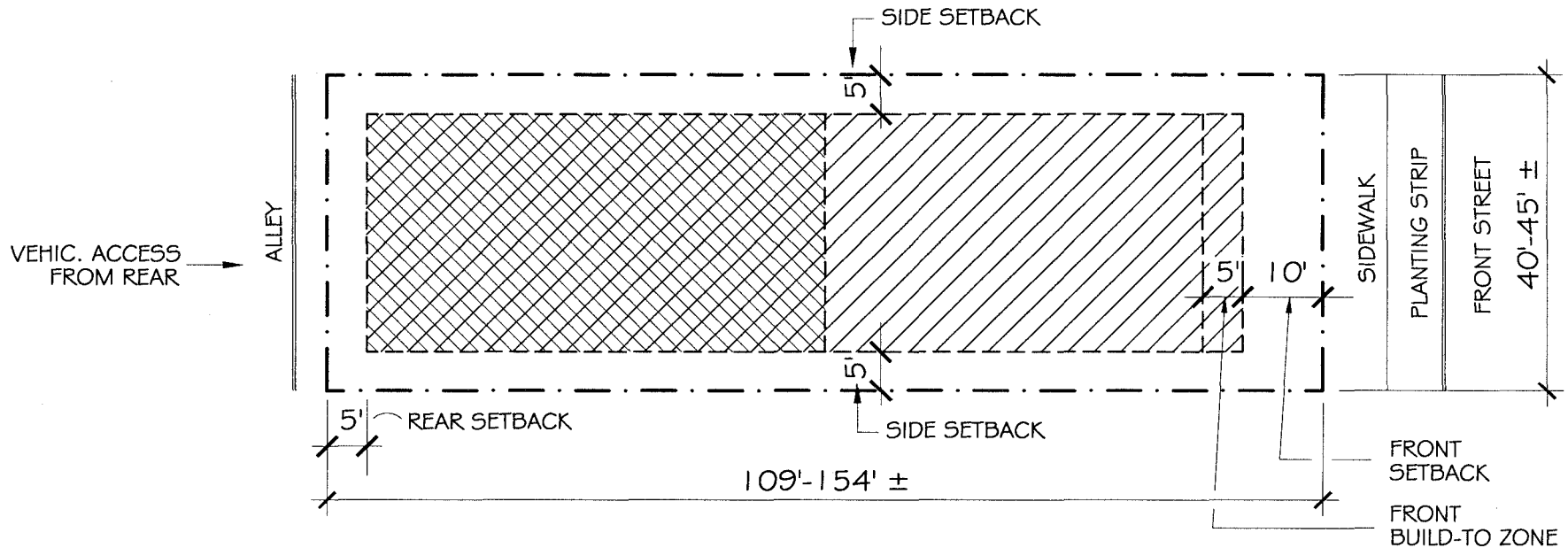
BED AND BREAKFAST: 1 SPACE PER  
OWNER PLUS 1 PER SLEEPING ROOM

## **OFFICE PARKING REQUIREMENTS:**

1 SPACE PER 300 S.F.



# SITING - INTERIOR LOTS TYPE II - COTTAGE (HR-2)



## GENERAL REQUIREMENTS:

FRONT FACADE SHALL BE LOCATED WITHIN THE FRONT BUILD-TO ZONE, 10'-0" TO 15'-0" FROM THE FRONT PROPERTY LINE. THE BUILDING WIDTH SHALL BE BUILT TO AT LEAST 50% OF THE LOT WIDTH.

SIDE SETBACK IS 5'-0" FOR THE PRINCIPAL BUILDING AND OUTBUILDINGS.



THE REAR SETBACK IS 5'-0" FOR PRINCIPAL BUILDING AND OUTBUILDINGS.

COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 75%.

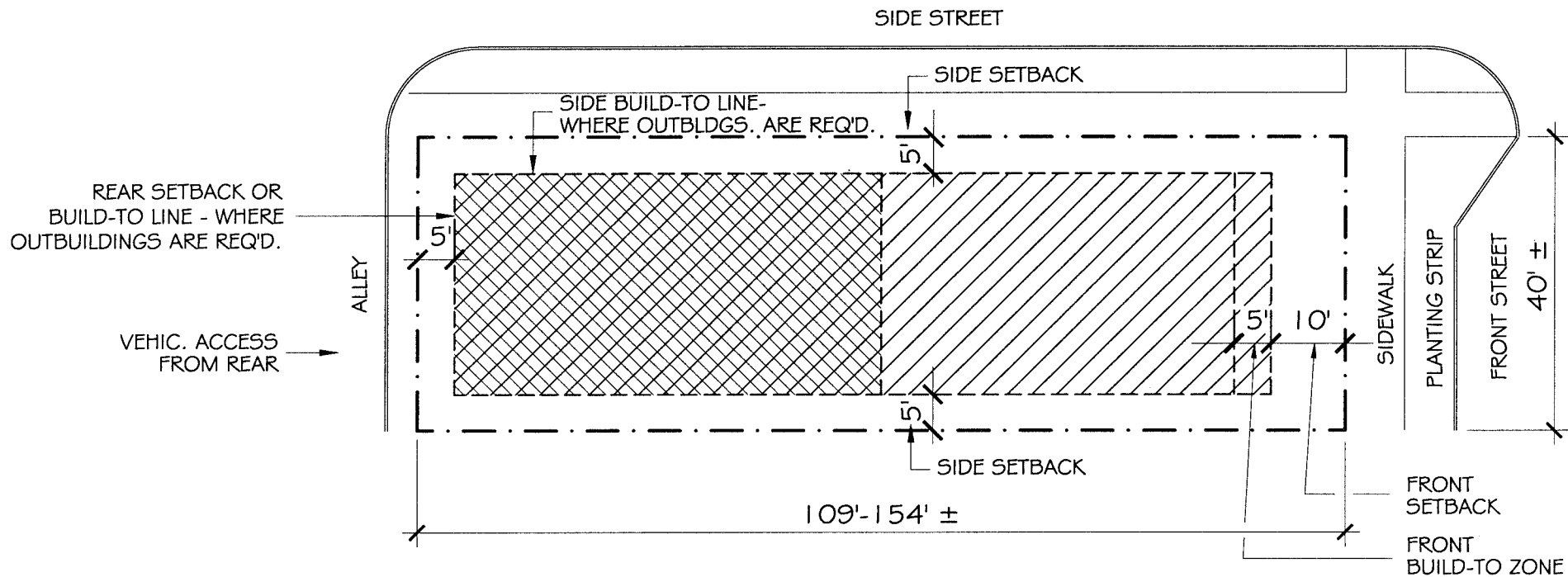
OUTBUILDINGS AND PARKING MAY OCCUR AT THE REAR 1/2 OF THE LOT ONLY.

VEHICULAR ACCESS OCCURS FROM THE REAR ALLEY.

## LEGEND

-  PRINCIPAL BUILDING BUILDABLE AREA
-  OUTBUILDING BUILDABLE AREA

# SITING - CORNER LOTS TYPE II - COTTAGE (HR-2)



## GENERAL REQUIREMENTS:

FRONT FACADE SHALL BE LOCATED WITHIN THE FRONT BUILD-TO ZONE, 10'-0" TO 15'-0" FROM THE FRONT PROPERTY LINE. THE BUILDING WIDTH SHALL BE BUILT TO AT LEAST 50% OF THE LOT WIDTH.

SIDE SETBACK IS 5'-0" FOR THE PRINCIPAL BUILDING AND OUTBUILDINGS.

THE SIDE STREET FACADE SHALL EXTEND A MIN. OF 25% OF THE LOT LENGTH.



FOR LOTS WHERE OUTBUILDINGS ARE REQUIRED, THE REAR BUILD-TO LINE IS 5'-0" FROM THE REAR PROPERTY LINE AND THE SIDE BUILD-TO LINE IS 5'-0" FROM THE SIDE STREET PROPERTY LINE. FOR OTHER LOTS, THE REAR SETBACK IS 5'-0" FOR PRINCIPAL BUILDING AND OUTBUILDINGS.

COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 75%.

OUTBUILDINGS AND PARKING MAY OCCUR AT THE REAR 1/2 OF THE LOT ONLY.

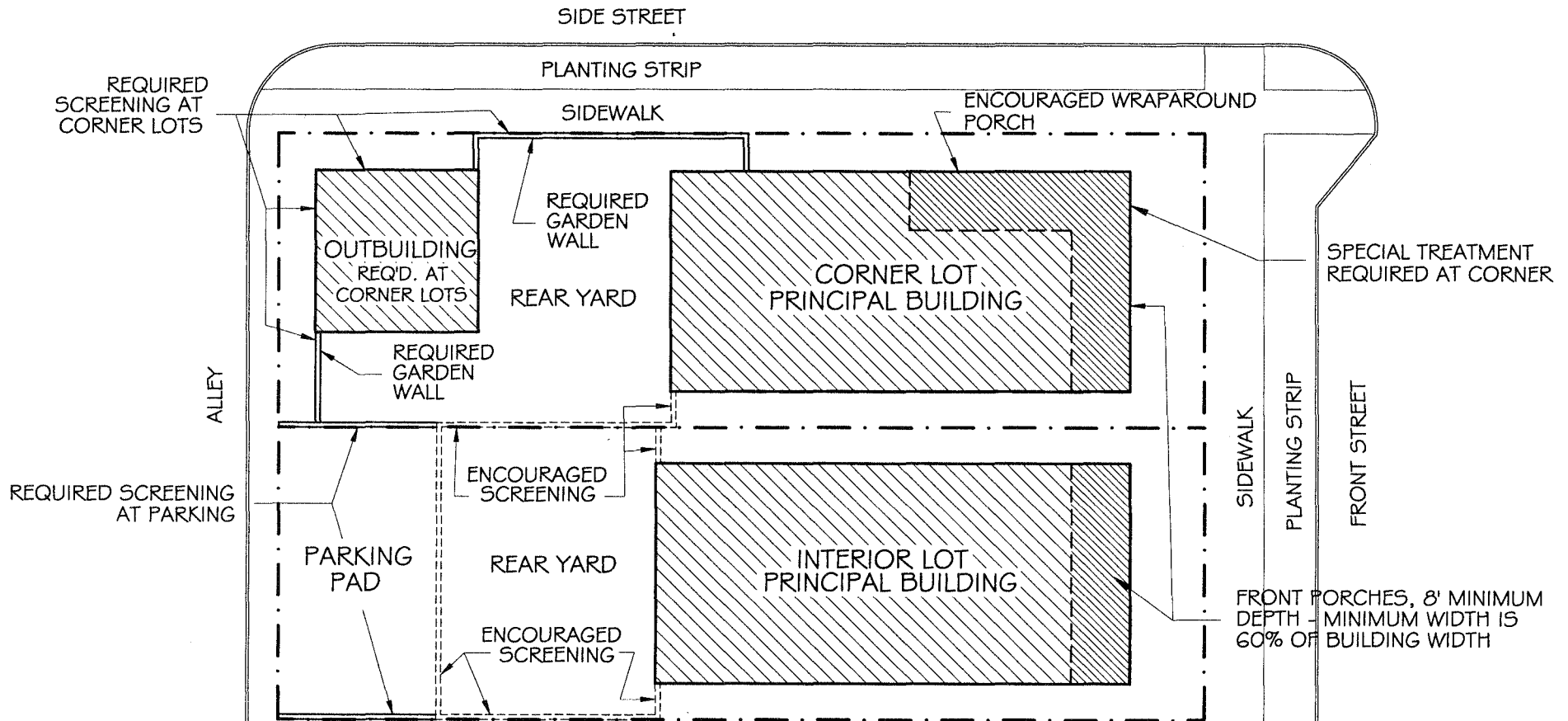
VEHICULAR ACCESS OCCURS FROM THE REAR ALLEY.

## LEGEND

-  PRINCIPAL BUILDING BUILDABLE AREA
-  OUTBUILDING BUILDABLE AREA



# ARCHITECTURAL ELEMENTS TYPE II - COTTAGE (HR-2)



## GENERAL REQUIREMENTS:

### PORCHES AND BALCONIES

FRONT PORCHES ARE REQUIRED AT THE FIRST FLOOR OF THE PRINCIPAL BUILDING. FRONT PORCHES SHALL BE A MINIMUM OF 8'-0" DEEP. THE WIDTH SHALL BE AT LEAST 60% OF THE WIDTH OF THE BUILDING. THE OUTER PORCH EDGE SHALL BE LOCATED WITHIN THE FRONT BUILD-TO ZONE.

AT CORNER LOTS, WRAPAROUND PORCHES ARE ENCOURAGED. THE PORCH WIDTH AND DEPTH AT THE SIDE SHOULD BE SIMILAR TO THE WIDTH AND DEPTH AT THE FRONT.

SECOND FLOOR FRONT PORCHES AND BALCONIES, AND REAR AND SIDE PORCHES AND BALCONIES AT ALL BUILDINGS ARE ENCOURAGED.

### DEFINED BUILDING CORNERS

AT CORNER LOTS, WELL DEFINED BUILDING CORNERS ARE REQUIRED. ATTENTION TO BOTH ELEVATIONS MUST BE CAREFULLY CONSIDERED. ACCEPTABLE BUILDING TREATMENTS INCLUDE: A CURVED CORNER, 45-DEGREE ANGLED CORNER, TOWER, TURRET, OR WRAPAROUND PORCH.

### CHIMNEYS AND STOOPS

FRONT STOOP CAN ENCROACH INTO FRONT SETBACK UP TO 3'-6". CHIMNEY CAN ENCROACH INTO SIDE SETBACK.

### GARDEN WALLS, FENCES, AND SCREENING

FENCES ARE ALLOWED AT FRONT PROPERTY LINES AND SIDE PROPERTY LINES BETWEEN FRONT LOT CORNER AND REAR PRINCIPAL BUILDING CORNER.

GARDEN WALLS OR LANDSCAPE SCREENING ARE ENCOURAGED ON SIDE PROPERTY LINES AT REAR YARDS BETWEEN ADJACENT PROPERTIES.

AT INTERIOR LOTS, REAR YARDS ARE ENCOURAGED TO BE SCREENED FROM THE ALLEY BY OUTBUILDINGS AND GARDEN WALLS. SCREENING IS REQUIRED AT SIDE PROPERTY LINES ADJACENT TO PARKING PAD. ANY ADDITIONAL SCREENING NECESSARY TO COMPLETELY SCREEN PARKING PAD FROM ADJACENT LOTS IS REQUIRED. TRASH CONTAINERS SHALL BE LOCATED IN THE REAR HALF OF THE LOT AND BE SCREENED SO THEY ARE NOT VISIBLE EXCEPT FROM ALLEY.

AT CORNER LOTS, GARDEN WALLS AND/OR OUTBUILDINGS ARE REQUIRED TO SCREEN REAR YARDS, PARKING, AND TRASH RECEPTACLES. TRASH RECEPTACLES MAY BE STORED IN THE REAR HALF OF THE LOT ONLY. GARDEN WALLS SCREENING REAR YARD (AT SIDE AND REAR) MAY OCCUR ANYWHERE BETWEEN PROPERTY LINE AND SETBACK LINE. SIDE YARD GARDEN WALL MAY RETURN TO REAR CORNER OF PRINCIPAL BUILDING OR MAY OVERLAP UP TO 25% OF BUILDING LENGTH.

\*NOTE: FOR LOTS L-12 AND M-1, ANY LANDSCAPING, FENCING, OR GARDEN WALLS BETWEEN OUTBUILDING AND CEVALLOS STREET MAY NOT EXCEED 2'-0" HIGH IN ORDER NOT TO OBSTRUCT VISIBILITY OF VEHICLES PULLING OUT FROM ALLEYS.

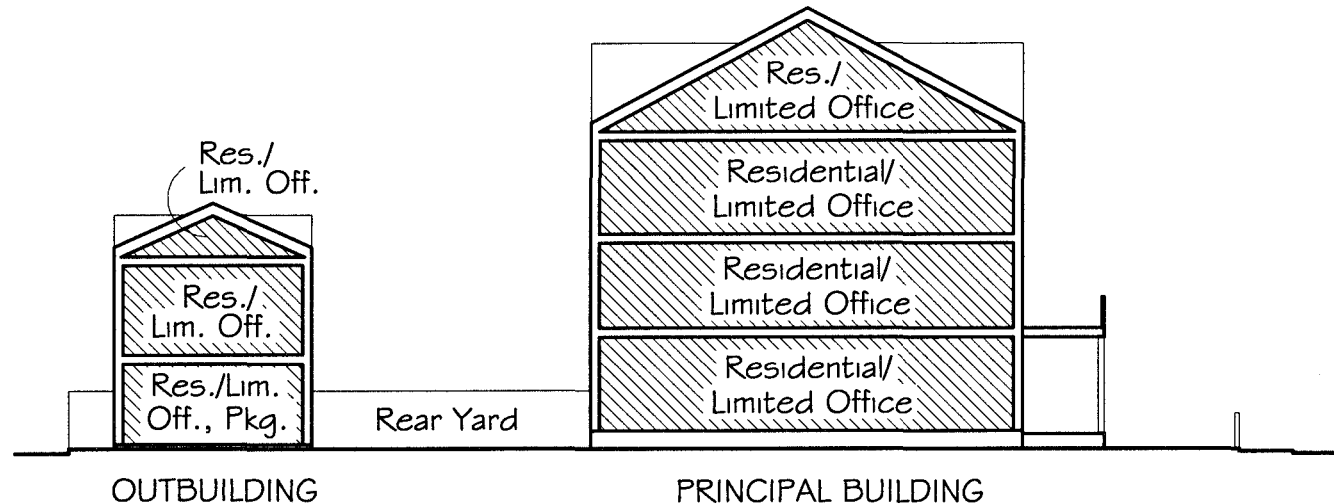




TYPE III - PARK HOUSE



## USE TYPE III - PARK HOUSE (GRD-1)



### USE DIAGRAM

NOTE: BUILDING SIZE AND LOCATION MAY VARY. SEE "SITING" REQUIREMENTS.

#### FOR PRINCIPAL BUILDINGS:

USE IS AS INDICATED IN DIAGRAM.

##### RESIDENTIAL USES INCLUDE:

SINGLE AND MULTI-FAMILY RESIDENTIAL,  
ATTACHED OR DETACHED.

HOME OCCUPATIONS OCCUPYING NOT  
MORE THAN 60% OF TOTAL FLOOR  
AREA AND HAVING NOT MORE THAN 2  
NON-FAMILY MEMBERS AS EMPLOYEES.

BED AND BREAKFAST.

##### LIMITED OFFICE USES INCLUDE:

OFFICES LIMITED TO 3,000 SQUARE FEET,  
PROVIDED SINGLE AND MULTI-FAMILY  
RESIDENTIAL USE OCCUPIES AT LEAST 50%  
OF THE TOTAL SQUARE FOOTAGE OF THE  
PRINCIPAL BUILDING AND OUTBUILDINGS.  
ALL OTHER REQUIREMENTS INCLUDING  
PARKING MUST BE MET.

#### FOR OUTBUILDINGS:

USE IS AS INDICATED IN DIAGRAM.

USES INCLUDE DETACHED  
GARAGES, GARAGE APART-  
MENTS, STUDIOS, WORKSHOPS,  
STORAGE BUILDINGS, POOL  
HOUSES, CARRIAGE HOUSES,  
GRANNY FLATS AND LIMITED OFFICE  
USE.

OUTBUILDINGS ARE  
ENCOURAGED BUT NOT REQUIRED,  
EXCEPT AS INDICATED  
ON THE REGULATING PLAN.

#### LOT CONSOLIDATION:

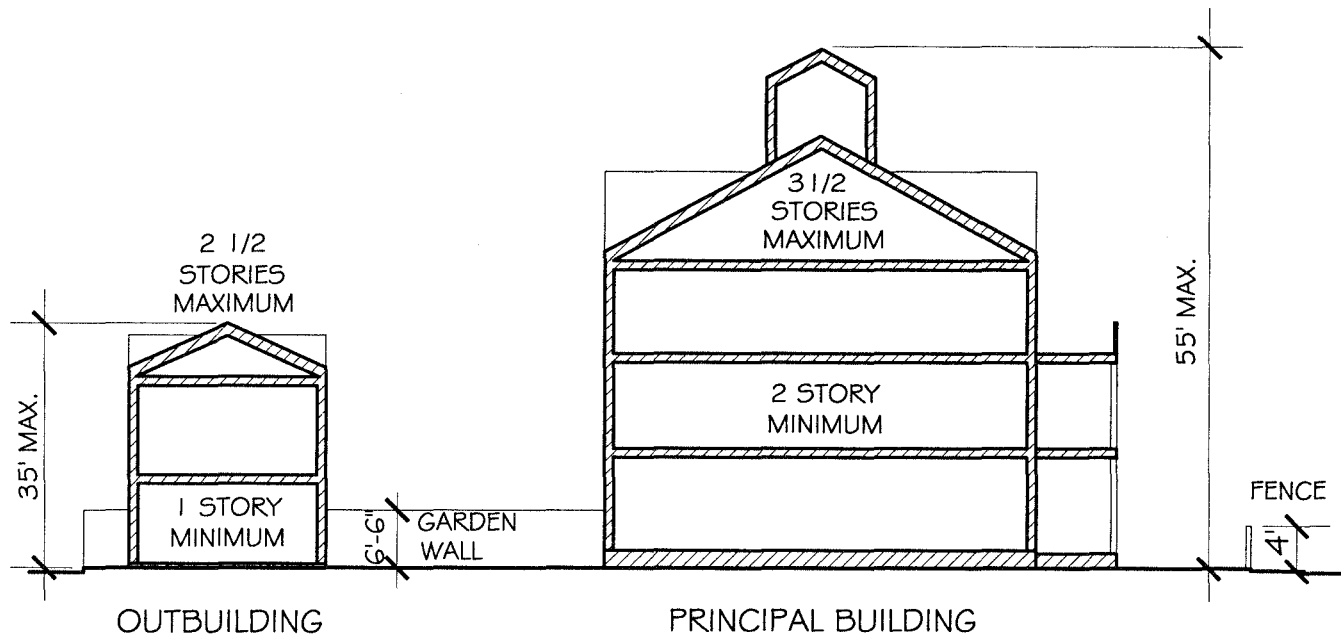
LOTS CANNOT BE CONSOLIDATED FOR  
THE PURPOSE OF CONSTRUCTING A  
SINGLE BUILDING.

#### NUMBER OF UNITS:

MAXIMUM NUMBER OF RESIDENTIAL AND OFFICE  
UNITS IS 3 PER LOT.



# HEIGHTS TYPE III - PARK HOUSE (GRD-1)



## PRINCIPAL BUILDINGS:

MAXIMUM HEIGHT IS 55'-0",  
3 1/2 STORIES.

ROOFTOP ELEMENTS, WITH THE EXCEPTION OF  
CHIMNEYS, MAY NOT EXCEED THE MAXIMUM  
ALLOWABLE HEIGHT OF THE PRINCIPAL BUILDING.  
ELEMENTS INCLUDE, BUT ARE NOT LIMITED TO,  
WIDOWS' WALKS, ROOF DECKS, TOWERS,  
TURRETS AND CUPOLAS.

MINIMUM SECOND STORY CEILING HEIGHT  
IS 21'-6" ABOVE GRADE FOR 2 STORIES.

MINIMUM GROUND FLOOR TO CEILING  
HEIGHT IS 10'-0" FOR 2 STORY BUILDING.

MINIMUM UPPER FLOOR TO CEILING  
HEIGHT IS 9'-0".

FIRST FLOOR ELEVATION MUST BE RAISED  
1'-6" TO 3'-0" OFF GRADE. MINIMUM FIRST  
FLOOR ELEVATION MUST BE AT LEAST  
9'-0" ABOVE SEA LEVEL.

## OUTBUILDINGS:

MAXIMUM HEIGHT IS 35'-0",  
2 1/2 STORIES.

MINIMUM CEILING HEIGHT IS 9'-0"  
ABOVE GRADE FOR 1 STORY BUILDING.

MINIMUM GROUND FLOOR TO CEILING  
HEIGHT IS 8'-0" FOR 2 STORY BLDG.

MINIMUM UPPER FLOOR TO CEILING  
HEIGHT IS 8'-0".

FIRST FLOOR ELEVATION IS NOT REQUIRED  
TO BE RAISED OFF GRADE. MINIMUM FIRST  
FLOOR ELEVATION MUST BE AT LEAST 9'-0"  
ABOVE SEA LEVEL FOR HABITABLE SPACE.

## GARDEN WALLS:

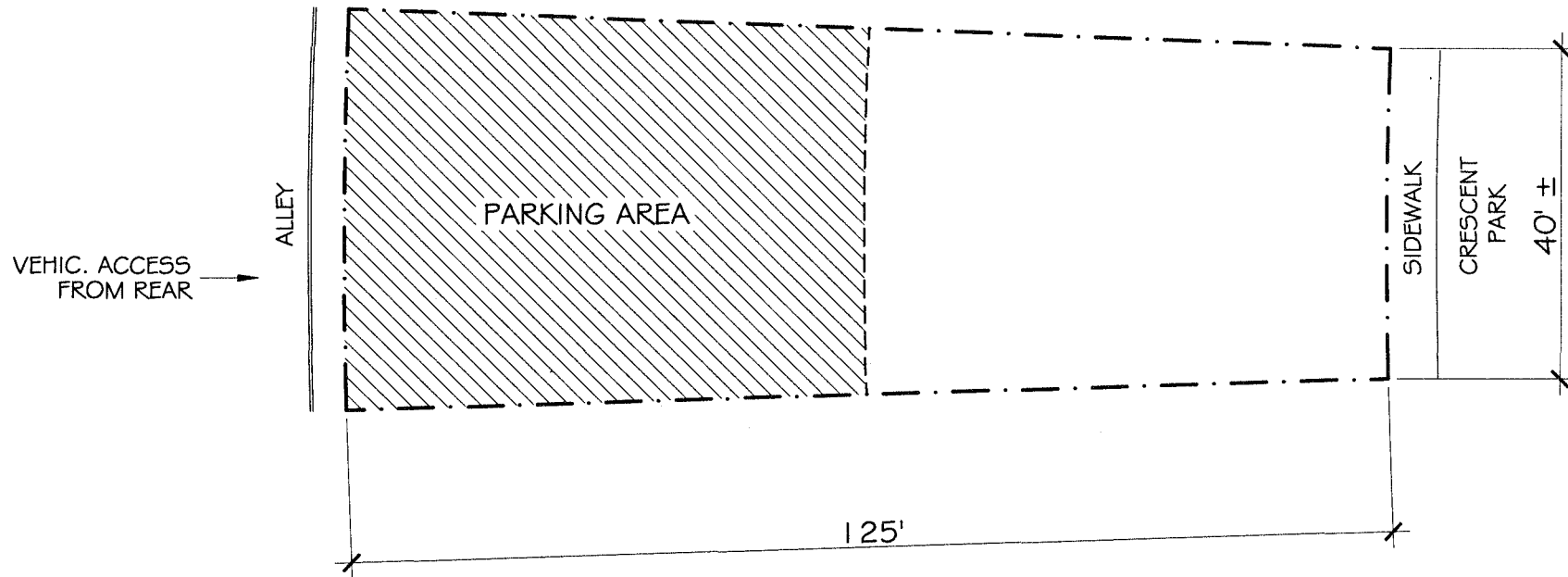
REQUIRED HEIGHT IS 6'-6".  
PILASTERS AND POSTS MAY  
EXTEND UP TO 12" ABOVE THE  
HEIGHT LIMITATIONS.

## FENCES:

REQUIRED HEIGHT IS 4'-0" FOR REQUIRED  
FENCE AT FRONT PROPERTY LINE AND AT  
CENTROS WALK SIDE PROPERTY LINE.  
PILASTERS AND POSTS MAY EXTEND UP  
TO 12" ABOVE THE HEIGHT LIMITATIONS.



# PARKING TYPE III - PARK HOUSE (GRD-1)



## GENERAL REQUIREMENTS:

PARKING SHALL BE PROVIDED IN THE AREA SHOWN AT THE REAR HALF OF THE LOT. ACCESS SHALL BE PROVIDED FROM THE REAR ALLEY.

PARKING CAN BE LOCATED IN DETACHED GARAGES OR ON PARKING PADS.

## RESIDENTIAL PARKING REQUIREMENTS:

SINGLE AND MULTI-FAMILY UNITS:  
1 SPACE PER UNIT

HOME OCCUPATION: 1 SPACE PER  
NON-FAMILY EMPLOYEE

BED AND BREAKFAST: 1 SPACE PER  
OWNER PLUS 1 PER SLEEPING ROOM

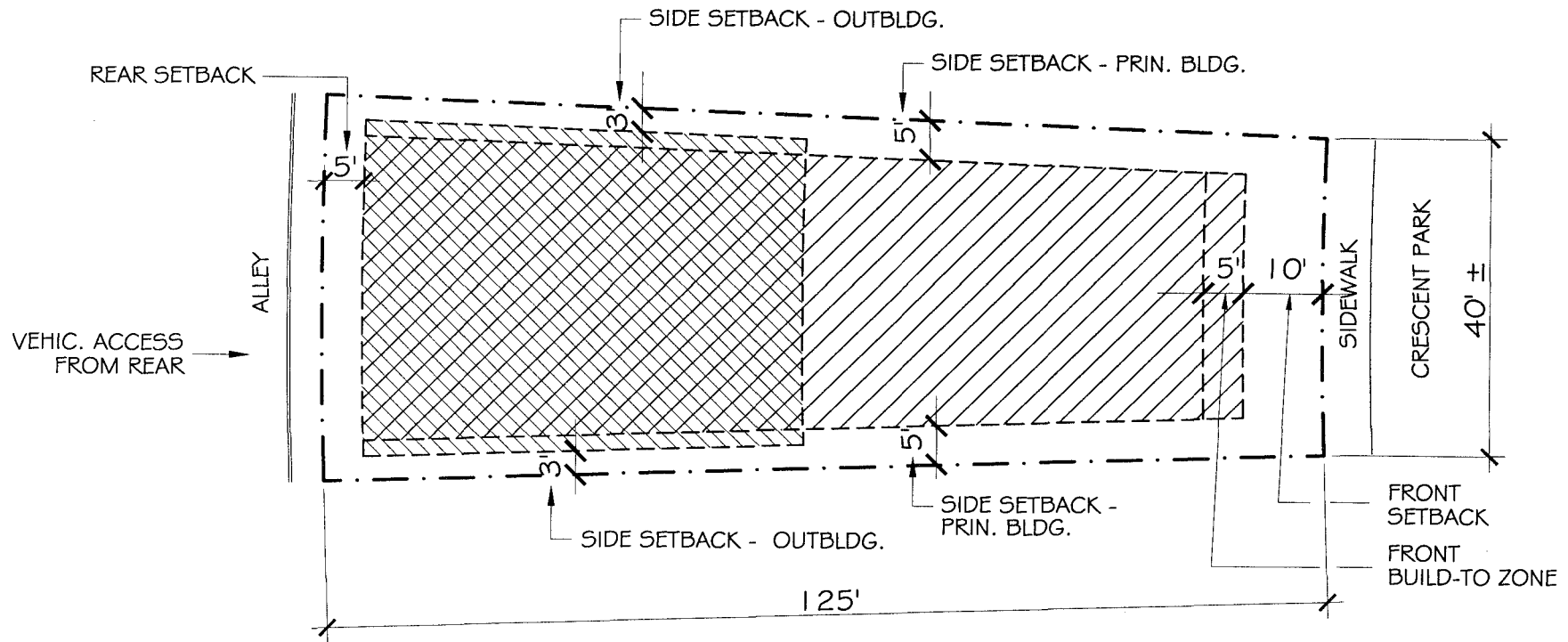
## LIMITED OFFICE PARKING REQUIREMENTS:

1 SPACE PER 500 S.F.





# SITING - INTERIOR LOTS TYPE III - PARK HOUSE (GRD-1)



## GENERAL REQUIREMENTS:

FRONT FACADE SHALL BE LOCATED WITHIN THE FRONT BUILD-TO ZONE, 10'-0" TO 15'-0" FROM THE FRONT PROPERTY LINE. THE BUILDING SHALL BE BUILT TO AT LEAST 50% OF THE LOT WIDTH AT FRONT BUILD-TO ZONE.

SIDE SETBACK IS 5'-0" FOR THE PRINCIPAL BUILDING AND 3'-0" FOR OUTBUILDINGS.



THE REAR SETBACK IS 5'-0" FOR PRINCIPAL BUILDING AND OUTBUILDINGS.

COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 75%.

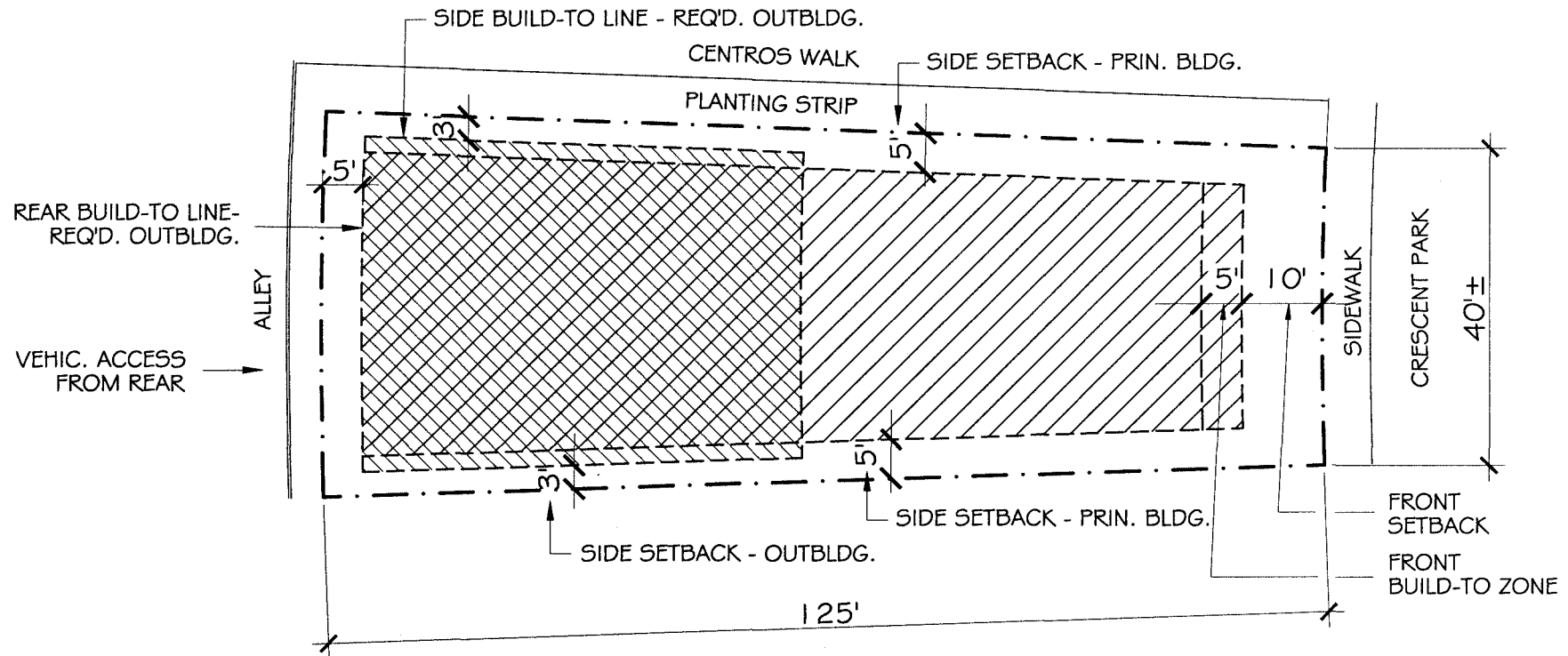
OUTBUILDINGS AND PARKING MAY OCCUR AT THE REAR 1/2 OF THE LOT ONLY.

VEHICULAR ACCESS OCCURS FROM THE REAR ALLEY.

## LEGEND

-  PRINCIPAL BUILDING BUILDABLE AREA
-  OUTBUILDING BUILDABLE AREA

# SITING - CORNER LOTS TYPE III - PARK HOUSE (GRD-1)



## GENERAL REQUIREMENTS:

FRONT FACADE SHALL BE LOCATED WITHIN THE FRONT BUILD-TO ZONE, 10'-0" TO 15'-0" FROM THE FRONT PROPERTY LINE. THE BUILDING SHALL BE BUILT TO AT LEAST 50% OF THE LOT WIDTH AT FRONT BUILD-TO ZONE.

SIDE SETBACK IS 5'-0" FOR THE PRINCIPAL BUILDING AND 3'-0" FOR OUTBUILDINGS.

THE CENTROS WALK FACADE SHALL EXTEND A MINIMUM OF 25% OF THE LOT LENGTH.



FOR THE REQUIRED 2 STORY OUTBUILDING, THE REAR BUILD-TO LINE IS 5'-0" FROM REAR PROPERTY LINE, AND THE SIDE BUILD-TO LINE IS 3'-0" FROM THE CENTROS WALK SIDE PROPERTY LINE.

COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 75%.

OUTBUILDINGS AND PARKING MAY OCCUR AT THE REAR 1/2 OF THE LOT ONLY.

VEHICULAR ACCESS OCCURS FROM THE REAR ALLEY.

## LEGEND

-  PRINCIPAL BUILDING BUILDABLE AREA
-  OUTBUILDING BUILDABLE AREA



# ARCHITECTURAL ELEMENTS TYPE III - PARK HOUSE (GRD-1)

## GENERAL REQUIREMENTS:

### BALCONIES AND PORCHES

DOUBLE GALLERIED FRONT PORCHES ARE REQUIRED AT THE FIRST AND SECOND FLOOR OF THE PRINCIPAL BUILDING. FRONT PORCHES SHALL BE A MINIMUM OF 8'-0" DEEP. THE WIDTH SHALL BE AT LEAST 75% OF THE WIDTH OF THE BUILDING. THE OUTER PORCH EDGE SHALL BE LOCATED WITHIN THE FRONT BUILD-TO ZONE.

AT CORNER LOTS, WRAPAROUND PORCHES ARE ENCOURAGED. THE PORCH LENGTH AND DEPTH SHOULD BE SIMILAR TO THE WIDTH AND DEPTH AT THE FRONT.

CANTILEVERED REAR BALCONIES ARE ALLOWED TO ENCROACH INTO REAR SETBACK IF 8'-0" OF VERTICAL CLEARANCE IS PROVIDED.

REAR AND SIDE PORCHES AND BALCONIES AT PRINCIPAL BUILDINGS AND OUTBUILDINGS ARE ALLOWED AND ENCOURAGED.

### DEFINED BUILDING CORNERS

AT CORNER LOTS, WELL DEFINED BUILDING CORNERS ARE REQUIRED. ATTENTION TO BOTH ELEVATIONS MUST BE CAREFULLY CONSIDERED. ACCEPTABLE BUILDING TREATMENTS INCLUDE: A CURVED CORNER, 45-DEGREE ANGLED CORNER, TOWER, TURRET, OR WRAPAROUND PORCH.

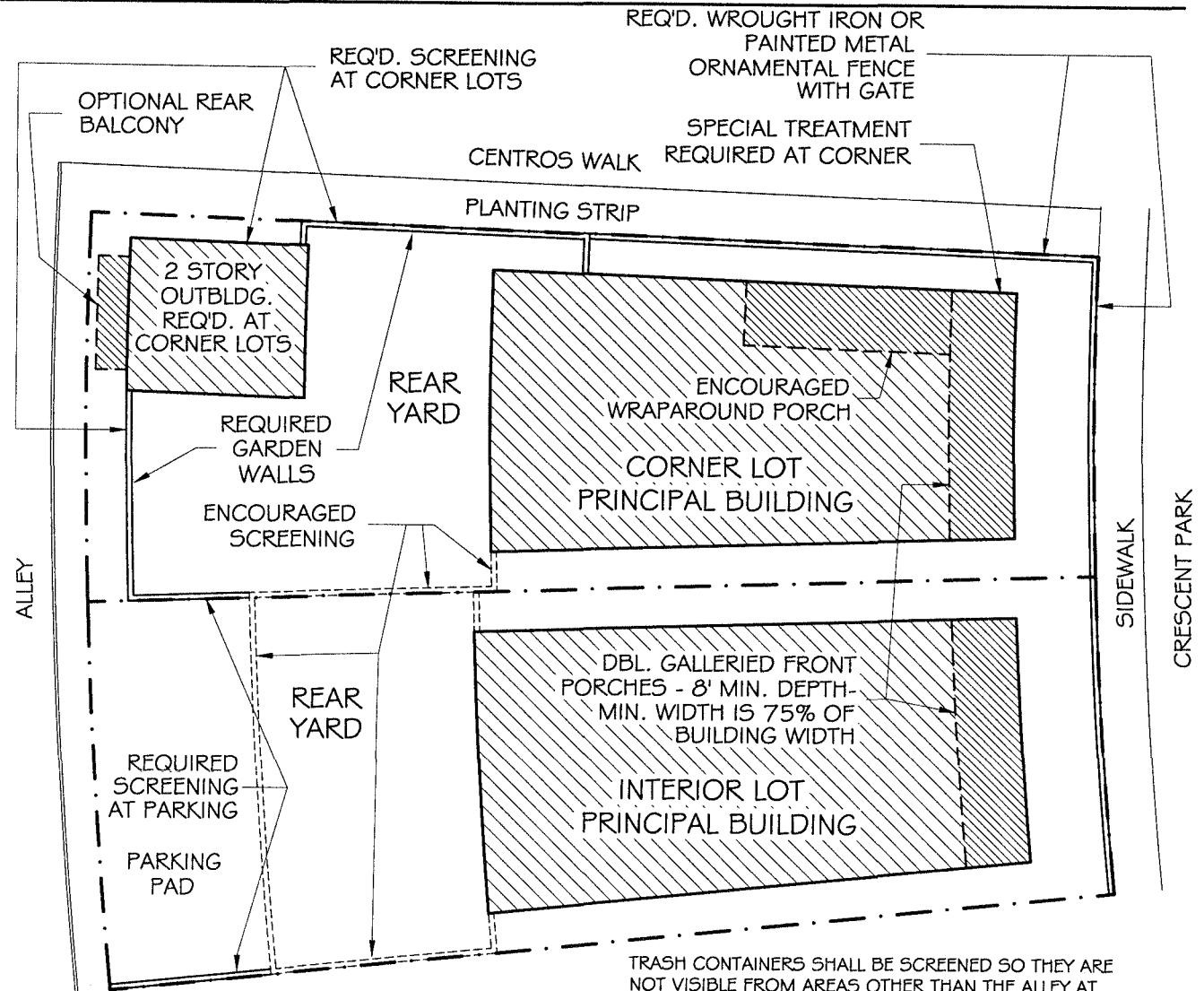
### CHIMNEYS AND STOOPS

FRONT STOOP CAN ENCROACH INTO FRONT SETBACK UP TO 3'-6". CHIMNEY CAN ENCROACH INTO SIDE SETBACK.

### GARDEN WALLS, FENCES, AND SCREENING

A 4'-0" HIGH WROUGHT IRON OR PAINTED METAL ORNAMENTAL FENCE WITH GATE IS REQUIRED AT FRONT PROPERTY LINE OF ALL LOTS. AT CORNER LOTS, THE FENCE MUST RETURN ALONG CENTROS WALK SIDE PROPERTY LINE UNTIL IT MEETS THE REQUIRED GARDEN WALL.

GARDEN WALLS OR LANDSCAPE SCREENING ARE ENCOURAGED ON SIDE PROPERTY LINE AT REAR YARDS BETWEEN ADJACENT PROPERTIES.

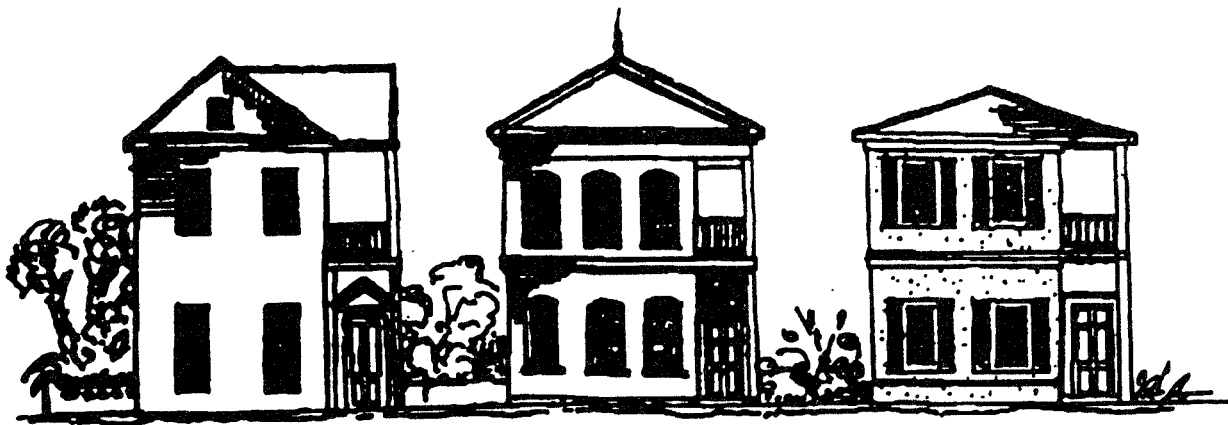


AT INTERIOR LOTS, REAR YARDS ARE ENCOURAGED TO BE SCREENED FROM THE ALLEY BY OUTBUILDINGS AND GARDEN WALLS. SCREENING IS REQUIRED AT SIDE PROPERTY LINES ADJACENT TO PARKING PAD. ANY ADDITIONAL SCREENING REQUIRED TO COMPLETELY SCREEN PARKING PAD FROM ADJACENT LOTS IS REQUIRED.

TRASH CONTAINERS SHALL BE SCREENED SO THEY ARE NOT VISIBLE FROM AREAS OTHER THAN THE ALLEY AT REAR OF SITE.

AT CORNER LOTS, GARDEN WALLS AND OUTBUILDINGS ARE REQUIRED AT CENTROS WALK SIDE AND AT REAR TO SCREEN REAR YARDS, PARKING, AND TRASH RECEPTACLES. TRASH RECEPTACLES MAY BE STORED IN THE REAR HALF OF THE LOT ONLY. GARDEN WALLS MAY OCCUR ANYWHERE BETWEEN PROPERTY LINE AND SETBACK LINE. SIDE YARD GARDEN WALL MAY RETURN TO REAR EDGE OF PRINCIPAL BUILDING OR MAY OVERLAP UP TO 25% OF BUILDING LENGTH.

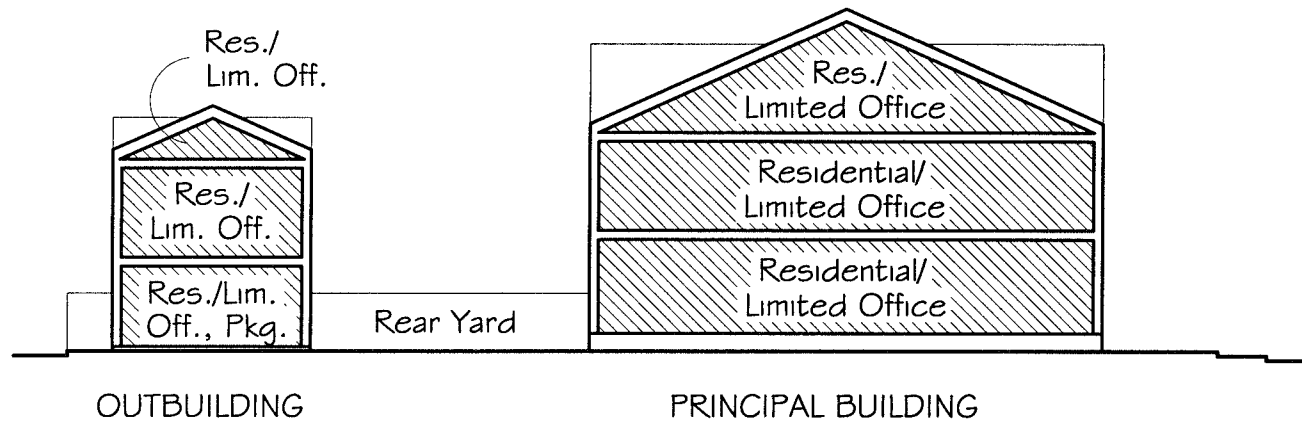




## TYPE IV - SIDEYARD



# USE TYPE IVA - SIDEYARD HOUSE - ALLEY ACCESS (GRD-1)



## USE DIAGRAM

NOTE: BUILDING SIZE AND LOCATION MAY VARY. SEE "SITING" REQUIREMENTS.

### FOR PRINCIPAL BUILDINGS:

USE IS AS INDICATED IN DIAGRAM.

#### RESIDENTIAL USES INCLUDE:

SINGLE AND MULTI-FAMILY RESIDENTIAL, ATTACHED OR DETACHED.

HOME OCCUPATIONS OCCUPYING NOT MORE THAN 60% OF TOTAL FLOOR AREA AND HAVING NOT MORE THAN 2 NON-FAMILY MEMBERS AS EMPLOYEES.

BED AND BREAKFAST.

#### LIMITED OFFICE USES INCLUDE:

OFFICES LIMITED TO 3,000 SQUARE FEET, PROVIDED SINGLE AND MULTI-FAMILY RESIDENTIAL USE OCCUPIES AT LEAST 50% OF THE TOTAL SQUARE FOOTAGE OF THE PRINCIPAL BUILDING AND OUTBUILDINGS. ALL OTHER REQUIREMENTS INCLUDING PARKING MUST BE MET.

### FOR OUTBUILDINGS:

USE IS AS INDICATED IN DIAGRAM.

USES INCLUDE DETACHED GARAGES, GARAGE APARTMENTS, STUDIOS, WORKSHOPS, STORAGE BUILDINGS, POOL HOUSES, CARRIAGE HOUSES, GRANNY FLATS AND LIMITED OFFICE USE.

OUTBUILDINGS ARE ENCOURAGED BUT NOT REQUIRED, EXCEPT AS INDICATED ON THE REGULATING PLAN.

### LOT CONSOLIDATION:

LOTS CANNOT BE CONSOLIDATED FOR THE PURPOSE OF CONSTRUCTING A SINGLE BUILDING.

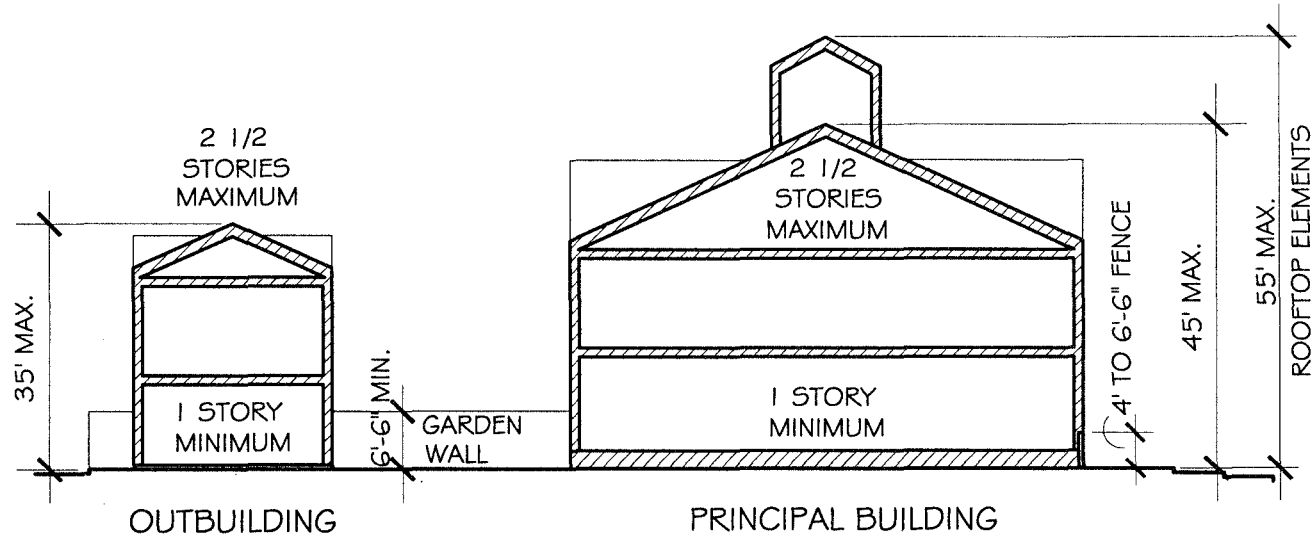
### NUMBER OF UNITS:

MAXIMUM NUMBER OF RESIDENTIAL AND OFFICE UNITS IS 3 PER LOT.



# HEIGHTS

## TYPE IVA - SIDEYARD HOUSE - ALLEY ACCESS (GRD-1)



### PRINCIPAL BUILDINGS:

MAXIMUM HEIGHT IS 45'-0",  
2 1/2 STORIES.

ROOFTOP ELEMENTS, WITH THE EXCEPTION OF  
CHIMNEYS, MAY NOT EXCEED 55'-0". ELEMENTS  
INCLUDE, BUT ARE NOT LIMITED TO, WIDOWS'  
WALKS, ROOF DECKS, TOWERS, TURRETS, AND  
CUPOLAS.

MINIMUM CEILING HEIGHT IS 13'-6" ABOVE  
GRADE FOR 1 STORY BUILDING.

MINIMUM GROUND FLOOR TO CEILING  
HEIGHT IS 10'-0" FOR 2 STORY BUILDING.

MINIMUM UPPER FLOOR TO CEILING  
HEIGHT IS 9'-0".

FIRST FLOOR ELEVATION MUST BE RAISED  
1'-6" TO 3'-0" OFF GRADE. MINIMUM FIRST  
FLOOR ELEVATION MUST BE AT LEAST  
9'-0" ABOVE SEA LEVEL.

### OUTBUILDINGS:

MAXIMUM HEIGHT IS 35'-0",  
2 1/2 STORIES.

MINIMUM CEILING HEIGHT IS 9'-0"  
ABOVE GRADE FOR 1 STORY BUILDING.

MINIMUM GROUND FLOOR TO CEILING  
HEIGHT IS 8'-0" FOR 2 STORY BUILDING.

MINIMUM UPPER FLOOR TO CEILING  
HEIGHT IS 8'-0".

FIRST FLOOR ELEVATION IS NOT REQUIRED  
TO BE RAISED OFF GRADE. FIRST FLOOR  
ELEVATION MUST BE AT LEAST 9'-0" ABOVE  
SEA LEVEL FOR HABITABLE SPACE.

### GARDEN WALLS:

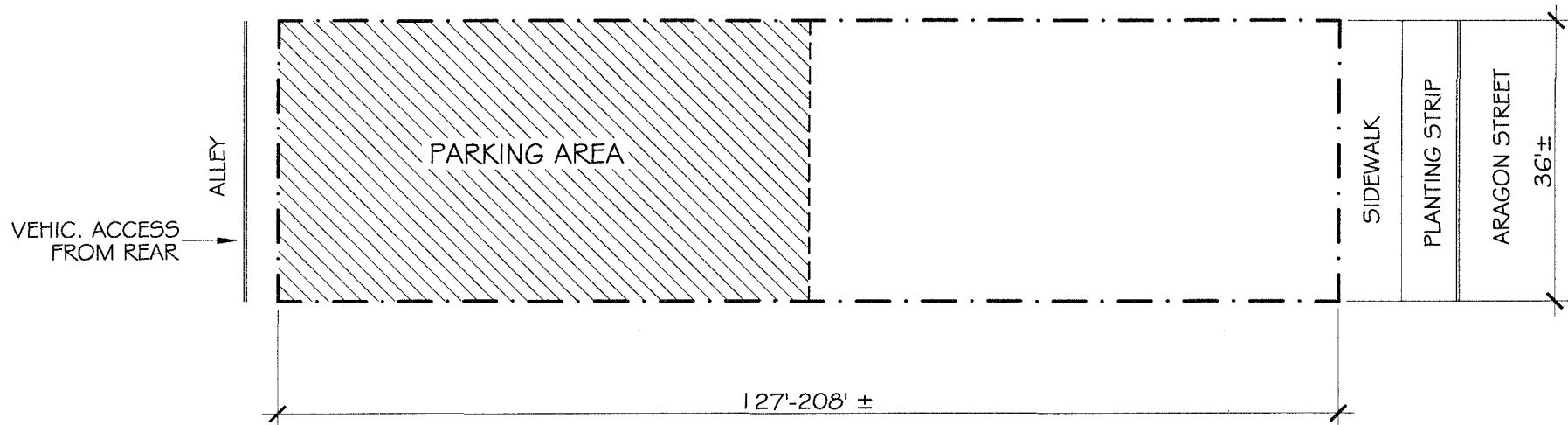
MINIMUM HEIGHT FOR GARDEN WALLS IS  
6'-6". GARDEN WALLS WITHIN BUILDABLE  
AREA (SEE "SITING" SECTIONS) MAY BE  
UP TO 10'-0" IN HEIGHT IF APPROVED BY  
AARB. PILASTERS AND POSTS MAY  
EXTEND UP TO 12" ABOVE THE HEIGHT  
LIMITATIONS.

### FENCES:

REQUIRED HEIGHT IS BETWEEN 4'-0" AND  
6'-6" FOR REQUIRED FENCES. PILASTERS  
AND POSTS MAY EXTEND UP TO 12"  
ABOVE THE HEIGHT LIMITATIONS.



# PARKING TYPE IVA - SIDEYARD HOUSE - ALLEY ACCESS (GRD-1)



## GENERAL REQUIREMENTS:

PARKING SHALL BE PROVIDED IN THE AREA SHOWN AT THE REAR HALF OF THE LOT. ACCESS SHALL BE PROVIDED FROM THE REAR ALLEY.

PARKING CAN BE LOCATED IN DETACHED GARAGES OR ON PARKING PADS.

## RESIDENTIAL PARKING REQUIREMENTS:

SINGLE AND MULTI-FAMILY UNITS:  
1 SPACE PER UNIT

HOME OCCUPATION: 1 SPACE PER  
NON-FAMILY EMPLOYEE

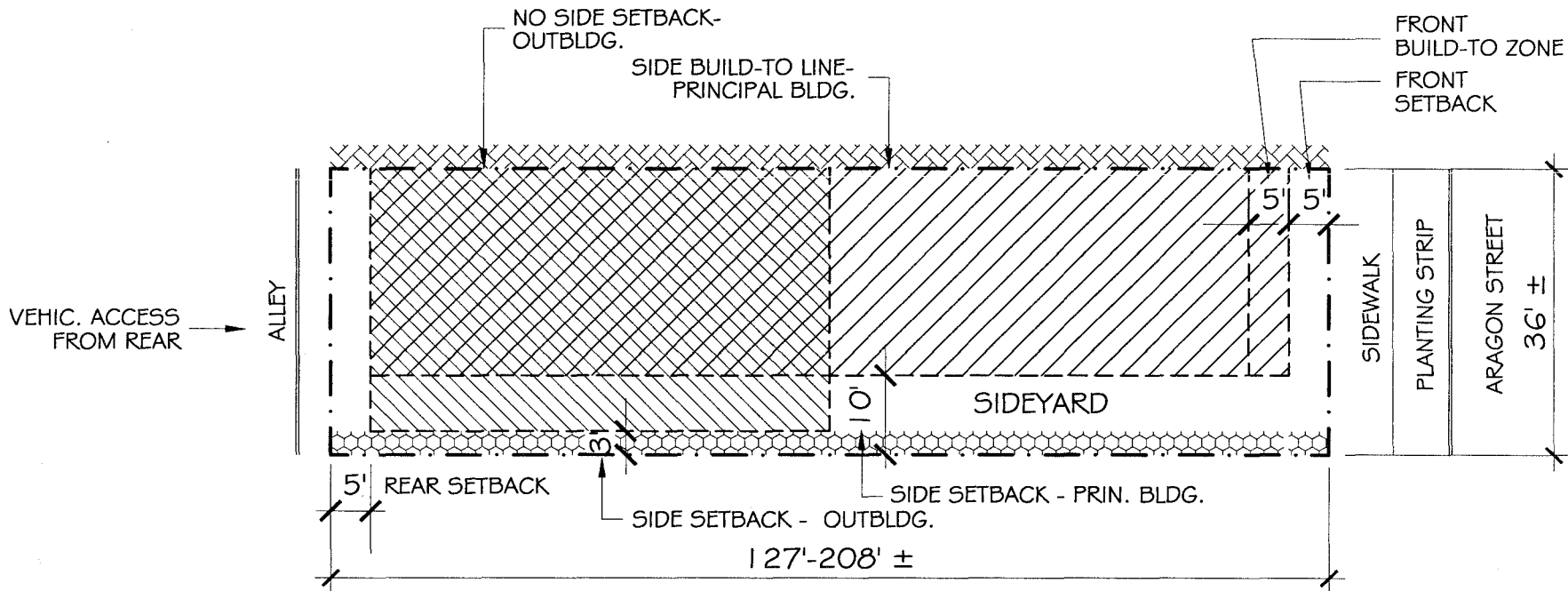
BED AND BREAKFAST: 1 SPACE PER  
OWNER PLUS 1 PER SLEEPING ROOM

## LIMITED OFFICE PARKING REQUIREMENTS:

1 SPACE PER 500 S.F.



## TYPE IVA - SIDEYARD HOUSE - ALLEY ACCESS (GRD-1)



### GENERAL REQUIREMENTS:

FRONT FACADE SHALL BE LOCATED WITHIN THE FRONT BUILD-TO ZONE, 5'-0" TO 10'-0" FROM THE PROPERTY LINE. THE BUILDING SHALL BE BUILT TO AT LEAST 60% OF THE LOT WIDTH.

SIDE BUILD-TO LINE FOR PRINCIPAL BUILDING IS THE WEST PROPERTY LINE FOR LOTS LOCATED WEST OF CENTROS WALK AND THE EAST PROPERTY LINE FOR LOTS LOCATED EAST OF CENTROS WALK. FOR OUTBUILDINGS, THERE IS NO SIDE SETBACK ON THIS SIDE.

OTHER SIDE SETBACK IS 10'-0" FOR THE PRINCIPAL BUILDING AND 3'-0" FOR OUTBUILDINGS.





THE REAR SETBACK IS 5'-0" FOR PRINCIPAL BUILDING AND OUTBUILDINGS.

FOR LOTS WEST OF CENTROS WALK, OWNER GRANTS ADJACENT EAST PROPERTY OWNER A NON-EXCLUSIVE EASEMENT NOT TO EXCEED 3'-0" FOR ENCROACHMENTS INCLUDING ROOF OVERHANGS, DOWNSPOUTS, AND FOUNDATION FOOTINGS, AND FOR THE MAINTENANCE OF EXTERIOR AND GARDEN WALLS LOCATED ON PROPERTY LINE.

FOR LOTS EAST OF CENTROS WALK, OWNER GRANTS ADJACENT WEST PROPERTY OWNER THE SAME NON-EXCLUSIVE EASEMENT FOR THE ABOVE-MENTIONED PURPOSES.

COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 75%.

### LEGEND

- |                                                                                       |                                                      |
|---------------------------------------------------------------------------------------|------------------------------------------------------|
|    | PRINCIPAL BUILDING<br>BUILDABLE AREA                 |
|  | OUTBUILDING BUILDABLE AREA                           |
|  | 3'-0" EASEMENT GRANTED TO<br>ADJACENT PROPERTY OWNER |
|  | 3'-0" EASEMENT GRANTED BY<br>ADJACENT PROPERTY OWNER |

OUTBUILDINGS AND PARKING MAY OCCUR AT THE REAR 1/2 OF THE LOT ONLY.

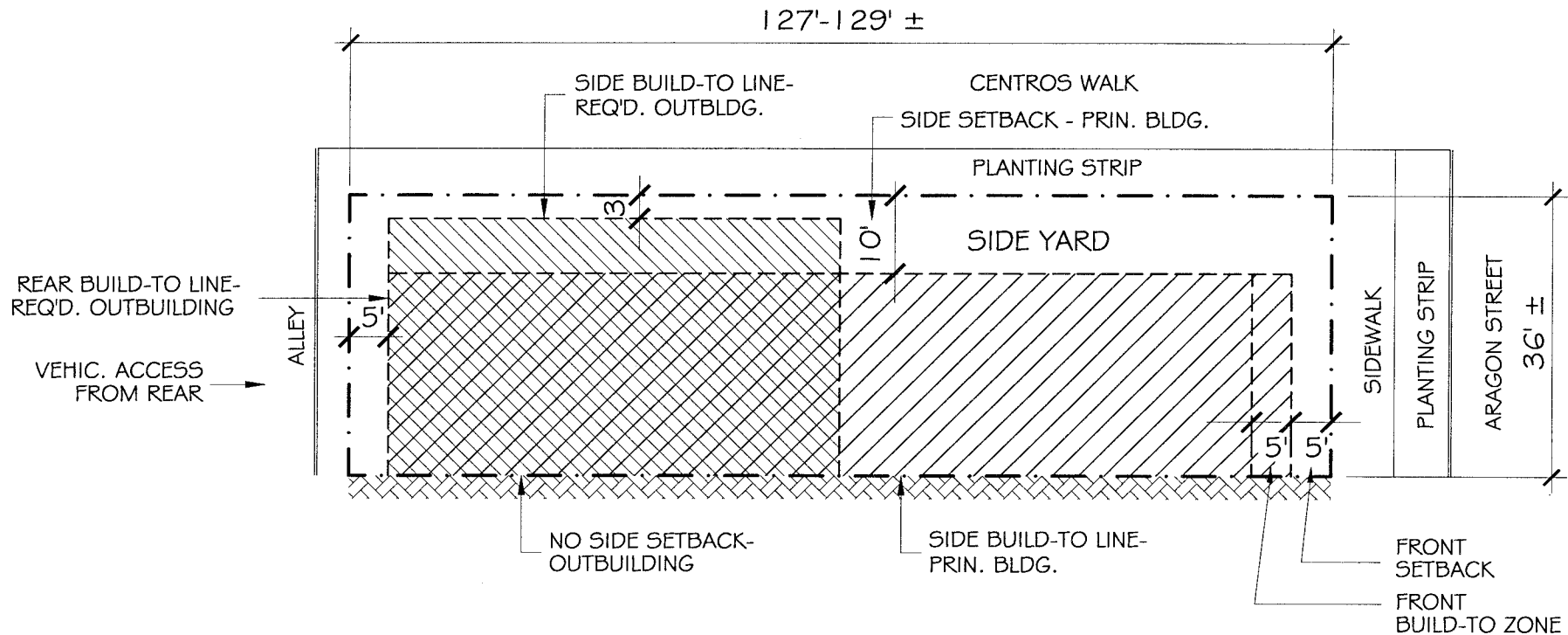
VEHICULAR ACCESS OCCURS FROM THE REAR ALLEY.





# SITING - CORNER LOTS

## TYPE IVA - SIDEYARD HOUSE - ALLEY ACCESS (GRD-1)



### GENERAL REQUIREMENTS:

CENTROS WALK SIDE SETBACK IS 10'-0" FOR THE PRINCIPAL BUILDING. CENTROS WALK SIDE BUILD-TO LINE FOR REQUIRED 2 STORY OUTBUILDING IS 3'-0". OTHER SIDE BUILD-TO LINE IS THE PROPERTY LINE FOR PRINCIPAL BUILDINGS; THERE IS NO SIDE SETBACK LINE ON THIS SIDE FOR OUTBUILDINGS.

THE CENTROS WALK FACADE SHALL EXTEND A MINIMUM OF 25% OF THE LOT LENGTH.



FOR THE REQUIRED 2 STORY OUTBUILDING THE REAR BUILD-TO LINE IS 5'-0" FROM REAR PROPERTY LINE.

COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 75%.

OUTBUILDINGS AND PARKING MAY OCCUR AT THE REAR HALF OF THE LOT ONLY.

VEHICULAR ACCESS OCCURS FROM THE REAR ALLEY.

### LEGEND

-  PRINCIPAL BUILDING BUILDABLE AREA
-  OUTBUILDING BUILDABLE AREA
- 



# ARCHITECTURAL ELEMENTS

## TYPE IVA - SIDEYARD HOUSE - ALLEY ACCESS (GRD-1)

### GENERAL REQUIREMENTS:

#### PORCHES AND BALCONIES

SIDE PORCHES ON FIRST AND SECOND FLOORS ARE REQUIRED ALONG THE SIDE YARD OF THE BUILDING. PORCHES SHALL BE A MINIMUM OF 5'-0" DEEP AND SHALL EXTEND FROM THE FRONT FACADE AT LEAST 20'-0" BACK.

CANTILEVERED REAR BALCONIES ARE ALLOWED TO ENCROACH INTO THE REAR SETBACK IF 8'-0" OF VERTICAL CLEARANCE IS PROVIDED.

REAR AND FRONT PORCHES AND BALCONIES AT PRINCIPAL BUILDINGS AND OUTBUILDINGS ARE ENCOURAGED.

#### DEFINED BUILDING CORNERS

AT CORNER LOTS, WELL DEFINED BUILDING CORNERS ARE REQUIRED. ATTENTION TO BOTH ELEVATIONS MUST BE CAREFULLY CONSIDERED.

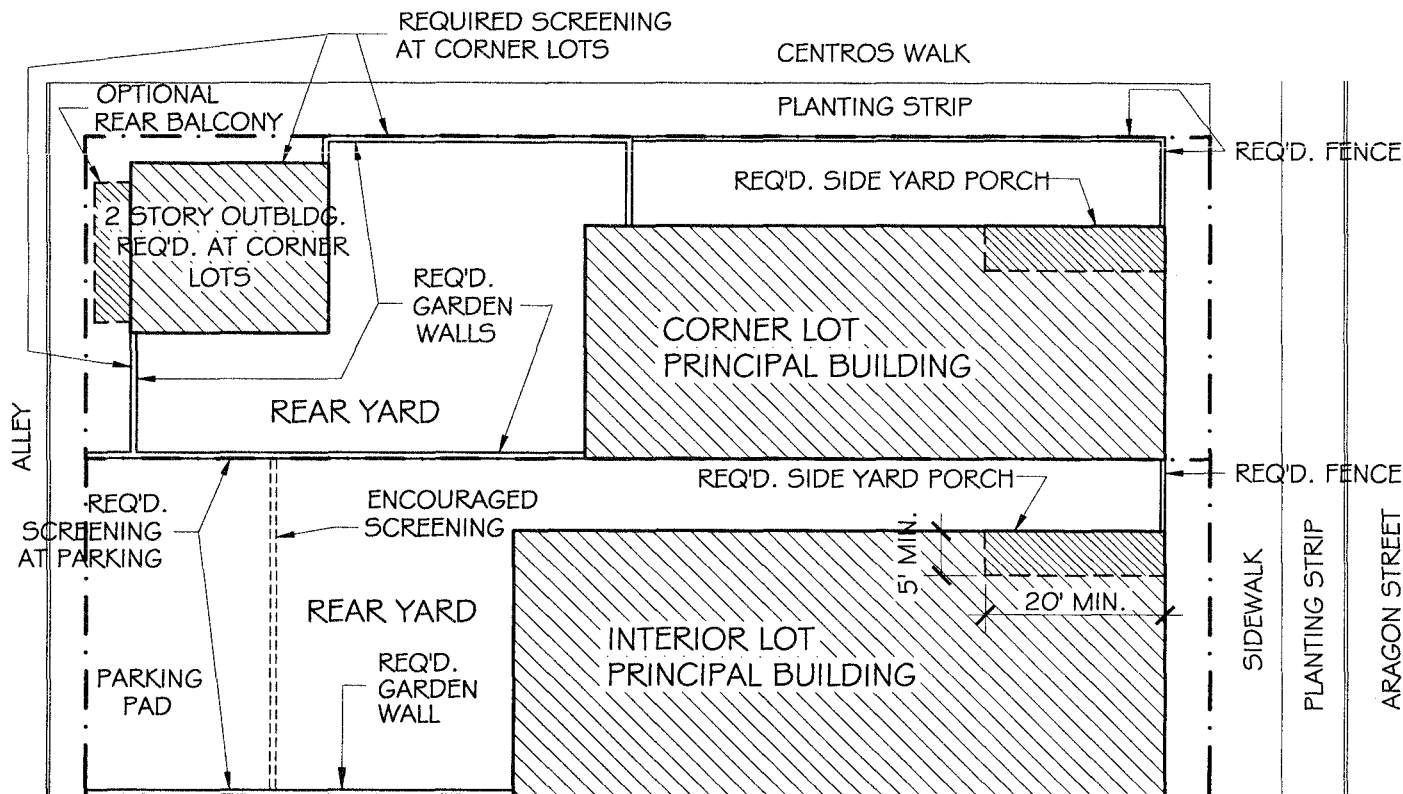
#### STOOPS AND CHIMNEYS

FRONT STOOP CAN ENCROACH INTO FRONT SETBACK UP TO 3'-6". CHIMNEYS CAN ENCROACH INTO SIDE SETBACK.

#### GARDEN WALLS, FENCES, AND SCREENING

A FENCE IS REQUIRED AT SIDE YARD, PARALLEL TO FRONT PROPERTY LINE AND MUST BE LOCATED SAME DISTANCE FROM FRONT PROPERTY LINE AS FRONT FACADE. AT CORNER LOTS, FENCE SHALL RETURN ALONG CENTROS WALK PROPERTY LINE UNTIL IT MEETS THE REQUIRED GARDEN WALL.

AT INTERIOR LOTS, GARDEN WALL IS REQUIRED ON BUILD-TO SIDE PROPERTY LINE WHERE NO BUILDING WALL IS BUILT EXCEPT REAR 5'-0" OF LOT UNLESS ADJACENT OWNERS HAVE AGREED TO SHARE A COURTYARD. OPPOSITE SIDE GARDEN WALL IS REQUIRED, BUT IS THE RESPONSIBILITY OF ADJACENT PROPERTY OWNER.



AT CORNER LOTS, GARDEN WALLS AND 2 STORY OUTBUILDINGS ARE REQUIRED AT CENTROS WALK SIDE AND REAR TO SCREEN REAR YARD, PARKING, AND TRASH RECEPTACLES. TRASH RECEPTACLES MAY BE STORED IN REAR HALF OF THE LOT ONLY. GARDEN WALLS SCREENING REAR YARD (AT SIDE AND REAR) MAY OCCUR ANYWHERE BETWEEN PROPERTY LINE AND SETBACK LINE. SIDE YARD GARDEN WALL MAY RETURN TO REAR PRINCIPAL BUILDING CORNER OR MAY OVERLAP UP TO 25% OF BUILDING LENGTH.

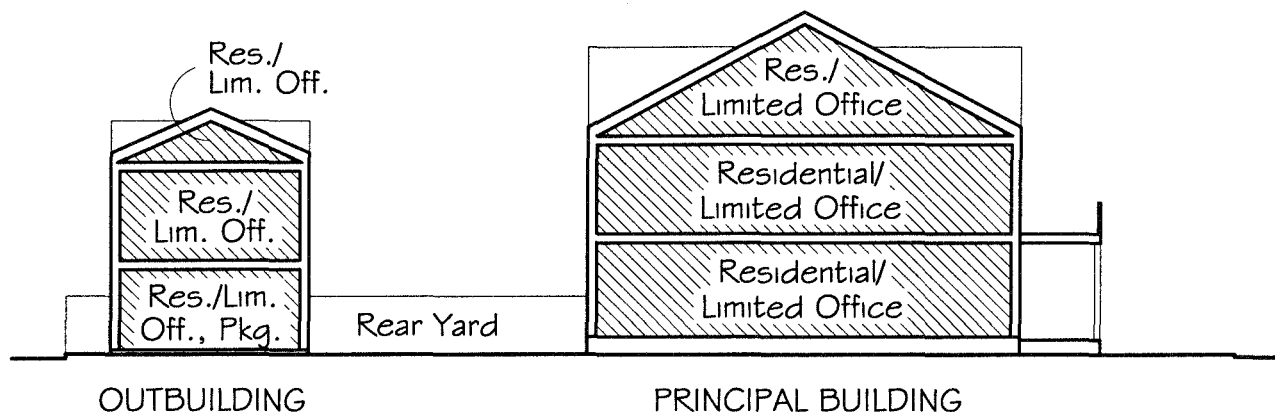
AT INTERIOR LOTS, REAR YARDS ARE ENCOURAGED TO BE SCREENED FROM THE ALLEY BY OUTBUILDINGS, GARDEN WALLS, OR LANDSCAPE SCREENING. TRASH RECEPTACLES MAY BE STORED IN REAR HALF OF LOT ONLY AND MUST BE SCREENED SO THEY ARE NOT VISIBLE EXCEPT FROM REAR ALLEY.

#### PRIVACY

WINDOWS IN WALLS LOCATED ON SIDE PROPERTY LINE ARE LIMITED TO THOSE NECESSARY FOR LIGHT. SILL HEIGHT MUST BE AT LEAST 6'-0" ABOVE FINISHED FLOOR, OR WINDOWS MUST BE INOPERABLE AND HAVE OBSCURE GLAZING.



# USE TYPE IVB - SIDEYARD HOUSE - STREET ACCESS (GRD-1)



## USE DIAGRAM

NOTE: BUILDING SIZE AND LOCATION MAY VARY. SEE "SITING" REQUIREMENTS.

### FOR PRINCIPAL BUILDINGS:

USE IS AS INDICATED IN DIAGRAM.

#### RESIDENTIAL USES INCLUDE:

SINGLE AND MULTI-FAMILY RESIDENTIAL, ATTACHED OR DETACHED.

HOME OCCUPATIONS OCCUPYING NOT MORE THAN 60% OF TOTAL FLOOR AREA AND HAVING NOT MORE THAN 2 NON-FAMILY MEMBERS AS EMPLOYEES.

BED AND BREAKFAST.

#### LIMITED OFFICE USES INCLUDE:

OFFICES LIMITED TO 3,000 SQUARE FEET, PROVIDED SINGLE AND MULTI-FAMILY RESIDENTIAL USE OCCUPIES AT LEAST 50% OF THE TOTAL SQUARE FOOTAGE OF THE PRINCIPAL BUILDING AND OUTBUILDINGS. ALL OTHER REQUIREMENTS INCLUDING PARKING MUST BE MET.

### FOR OUTBUILDINGS:

USE IS AS INDICATED IN DIAGRAM.

USES INCLUDE DETACHED GARAGES, GARAGE APARTMENTS, STUDIOS, WORKSHOPS, STORAGE BUILDINGS, POOL HOUSES, CARRIAGE HOUSES, GRANNY FLATS, AND LIMITED OFFICE USE.

OUTBUILDINGS ARE ENCOURAGED BUT NOT REQUIRED, EXCEPT AS INDICATED ON THE REGULATING PLAN.

### LOT CONSOLIDATION:

LOTS CANNOT BE CONSOLIDATED FOR THE PURPOSE OF CONSTRUCTING A SINGLE BUILDING.

FOR THOSE DESIGNATED AS "FAMILY GROUP" ON THE REGULATING PLAN, UP TO 4 LOTS CAN BE CONSOLIDATED FOR THE PURPOSE OF CONSTRUCTING MULTIPLE UNITS.

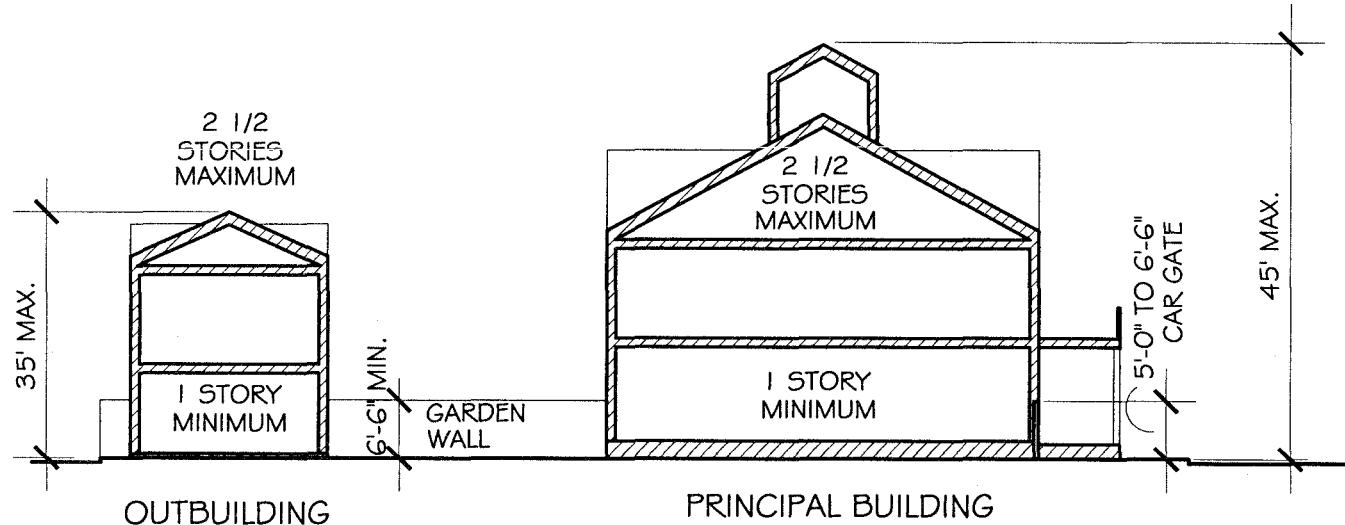
### NUMBER OF UNITS:

THE MINIMUM NUMBER OF UNITS MUST EQUAL THE NUMBER OF LOTS CONSOLIDATED. THE MAXIMUM NUMBER OF RESIDENTIAL AND OFFICE UNITS IS 2 PER LOT.



# HEIGHTS

## TYPE IVB - SIDEYARD HOUSE - STREET ACCESS (GRD-1)



### PRINCIPAL BUILDINGS:

MAXIMUM HEIGHT IS 45'-0",  
2 1/2 STORIES.

ROOFTOP ELEMENTS, WITH THE EXCEPTION OF CHIMNEYS, MAY NOT EXCEED THE MAXIMUM HEIGHT OF PRINCIPAL BUILDING. ELEMENTS INCLUDE, BUT ARE NOT LIMITED TO, WIDOWS' WALKS, ROOF DECKS, TOWERS, TURRETS, AND CUPOLAS.

MINIMUM CEILING HEIGHT IS 13'-6" ABOVE GRADE FOR 1 STORY BUILDING.

MINIMUM GROUND FLOOR TO CEILING HEIGHT IS 10'-0" FOR 2 STORY BUILDING.

MINIMUM UPPER FLOOR TO CEILING HEIGHT IS 9'-0".

FIRST FLOOR ELEVATION MUST BE RAISED 1'-6" TO 3'-0" OFF GRADE. MINIMUM FIRST FLOOR ELEVATION MUST BE AT LEAST 9'-0" ABOVE SEA LEVEL.

### OUTBUILDINGS:

MAXIMUM HEIGHT IS 35'-0",  
2 1/2 STORIES.

MINIMUM CEILING HEIGHT IS 9'-0" ABOVE GRADE FOR 1 STORY BUILDING.

MINIMUM GROUND FLOOR TO CEILING HEIGHT IS 8'-0" FOR 2 STORY BUILDING.

MINIMUM UPPER FLOOR TO CEILING HEIGHT IS 8'-0".

FIRST FLOOR ELEVATION IS NOT REQUIRED TO BE RAISED OFF GRADE. FIRST FLOOR ELEVATION MUST BE AT LEAST 9'-0" ABOVE SEA LEVEL FOR HABITABLE SPACE.

### GARDEN WALLS:

MINIMUM HEIGHT FOR GARDEN WALLS IS 6'-6". GARDEN WALLS WITHIN BUILDABLE AREA (SEE "SITING" SECTIONS) MAY BE UP TO 10'-0" IN HEIGHT IF APPROVED BY AARB. PILASTERS AND POSTS MAY EXTEND UP TO 12" ABOVE THE HEIGHT LIMITATIONS.

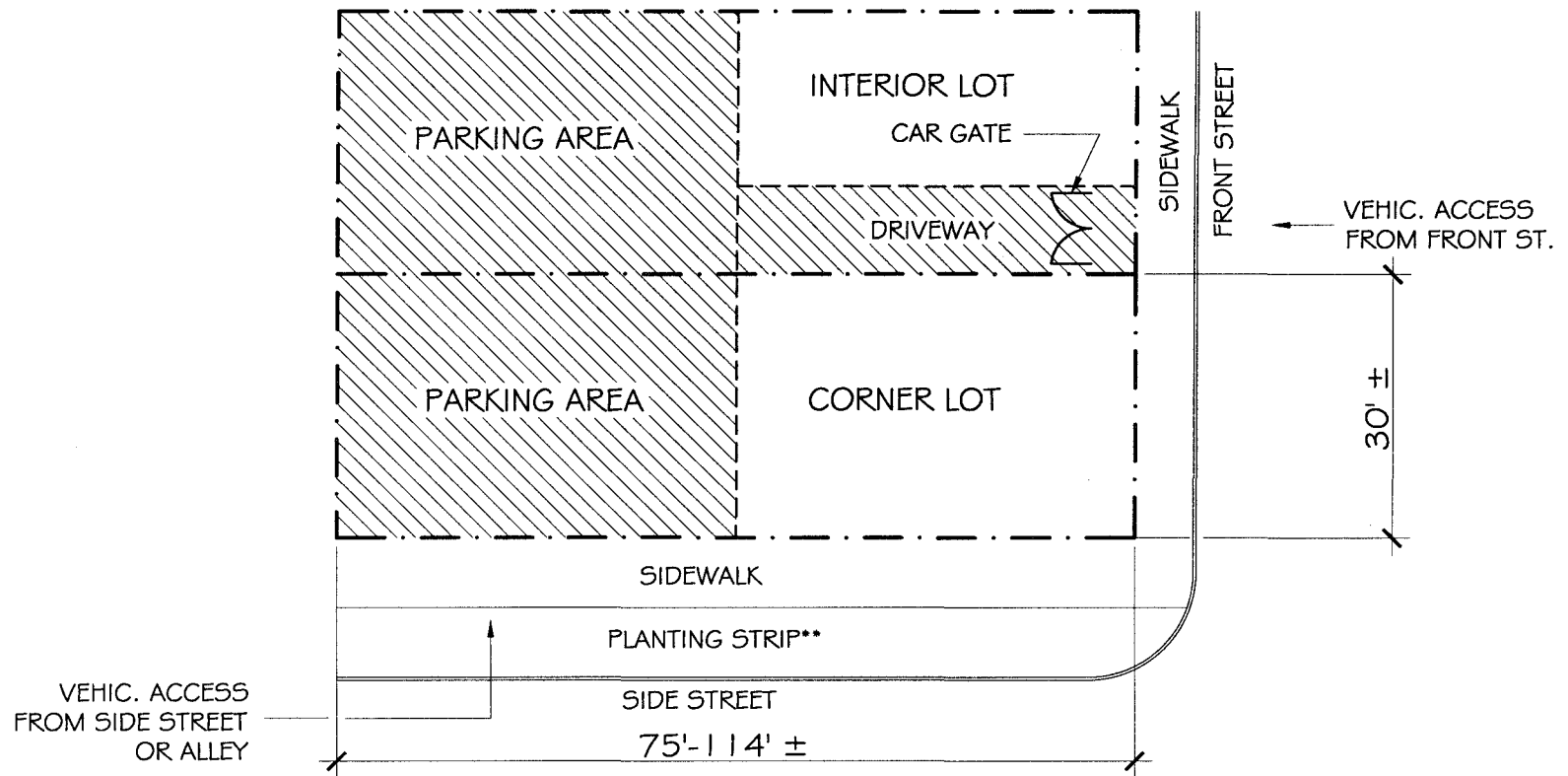
### FENCES:

MAXIMUM HEIGHT IS 4'-0" FOR FENCES IN FRONT YARDS. PILASTERS AND POSTS MAY EXTEND UP TO 12" ABOVE THE HEIGHT LIMITATIONS.

### CAR GATES & ADJACENT FENCES:

REQUIRED HEIGHT IS BETWEEN 5'-0" AND 6'-6". PILASTERS AND POSTS MAY EXTEND UP TO 12" ABOVE THE HEIGHT LIMITATIONS.

# **PARKING** **TYPE IVB - SIDEYARD HOUSE - STREET ACCESS (GRD-1)**



## **GENERAL REQUIREMENTS:**

PARKING SHALL BE PROVIDED IN THE AREA SHOWN AT THE REAR HALF OF THE LOT OR IN DRIVEWAY (INTERIOR LOTS ONLY) IF A 5'-0" TO 6'-6" HIGH CAR GATE IS PROVIDED. ACCESS SHALL BE PROVIDED FROM THE FRONT STREET AT INTERIOR LOTS AND SIDE STREET OR ALLEY AT CORNER LOTS.

FOR LOTS DESIGNATED AS "FAMILY GROUP," DRIVEWAY ACCESS MAY BE SHARED BETWEEN LOTS WITH A DEDICATED SHARED ACCESS EASEMENT.

PARKING CAN BE LOCATED IN DETACHED GARAGES, DRIVEWAYS WITH A CAR GATE (AT INTERIOR LOTS), OR ON PARKING PADS.

## **RESIDENTIAL PARKING REQUIREMENTS:**

SINGLE AND MULTI-FAMILY UNITS:  
 1 SPACE PER UNIT

HOME OCCUPATION: 1 SPACE PER  
 NON-FAMILY EMPLOYEE

BED AND BREAKFAST: 1 SPACE PER  
 OWNER PLUS 1 PER SLEEPING ROOM

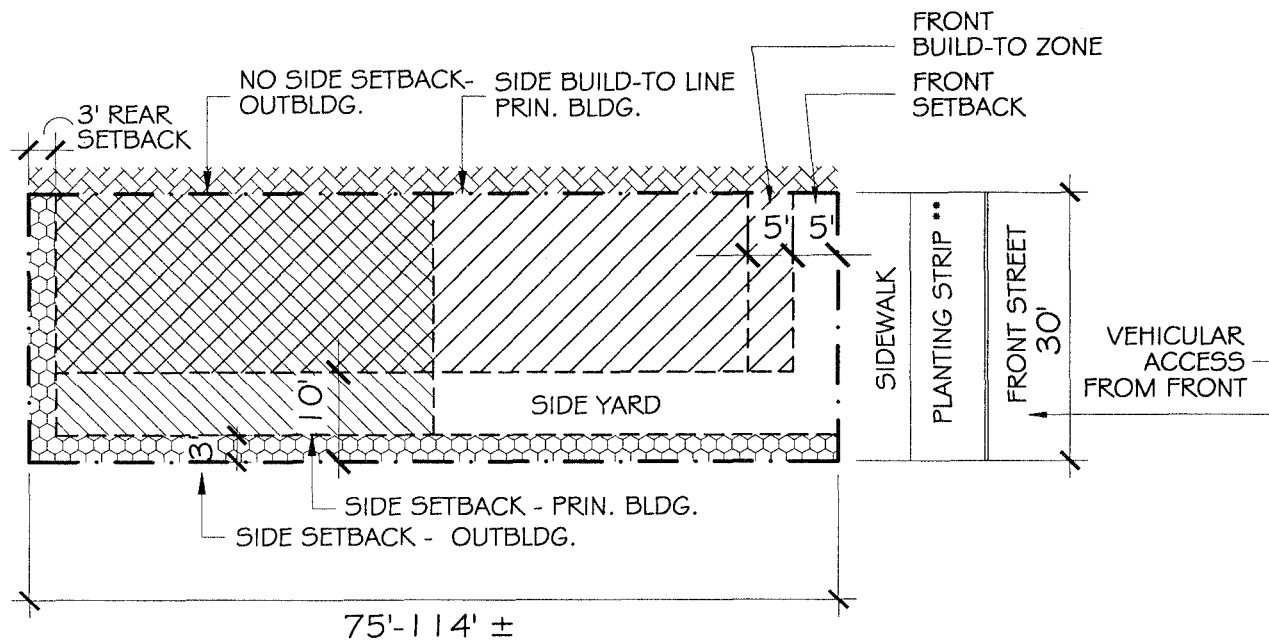
## **LIMITED OFFICE PARKING REQUIREMENTS:**

1 SPACE PER 500 S.F.

\*\* NOTE: PLANTING STRIP IN SOME LOCATIONS ONLY.



# SITING - INTERIOR LOTS TYPE IVB - SIDEYARD HOUSE - STREET ACCESS (GRD-1)



## LEGEND

- PRINCIPAL BUILDING BUILDABLE AREA
- OUTBUILDING BUILDABLE AREA
- 3'-0" EASEMENT GRANTED TO ADJACENT PROPERTY OWNER AT SOME LOCATIONS.
- 3'-0" EASEMENT GRANTED BY ADJACENT PROPERTY OWNER AT SOME LOCATIONS.

## GENERAL REQUIREMENTS:

FRONT FACADE SHALL BE LOCATED WITHIN THE FRONT BUILD-TO ZONE, 5'-0" TO 10'-0" FROM THE FRONT PROPERTY LINE. THE BUILDING SHALL BE BUILT TO AT LEAST 50% OF THE LOT WIDTH.

FOR PRINCIPAL BUILDINGS, SIDE BUILD-TO LINE IS THE EAST OR SOUTH SIDE PROPERTY LINE. SIDE SETBACK ON THE WEST OR NORTH SIDE IS 10'-0".

THERE IS NO SIDE SETBACK FOR OUTBUILDINGS ON THE EAST OR SOUTH SIDE, BUT THERE IS A 3'-0" SETBACK ON THE WEST OR NORTH SIDE.

THE REAR SETBACK IS 3'-0" FOR PRINCIPAL BUILDING AND OUTBUILDINGS.

SITE AND BUILDING DESIGNS INVOLVING LOT CONSOLIDATION OF "FAMILY GROUP" LOTS WILL BE CAREFULLY EVALUATED TO ENSURE DESIGN MEETS INTENT OF THE ARAGON DESIGN CODE.

OWNERS OF BLOCK 'A' LOTS 5, 6, AND 8-13 AND BLOCK 'F' LOTS 3 AND 4, GRANT ADJACENT WEST PROPERTY OWNER A NON-EXCLUSIVE EASEMENT, NOT TO EXCEED 3'-0", FOR ENCROACHMENTS INCLUDING ROOF OVERHANGS, DOWNSPOUTS, AND FOUNDATION FOOTINGS, AND FOR THE MAINTENANCE OF EXTERIOR AND GARDEN WALLS LOCATED ON PROPERTY LINE. OWNERS OF BLOCK 'A' LOTS 2-6 GRANT SAME EASEMENT TO ADJACENT NORTH PROPERTY OWNER.

COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 75%.

OUTBUILDINGS MAY OCCUR AT THE REAR 1/2 OF THE LOT ONLY.

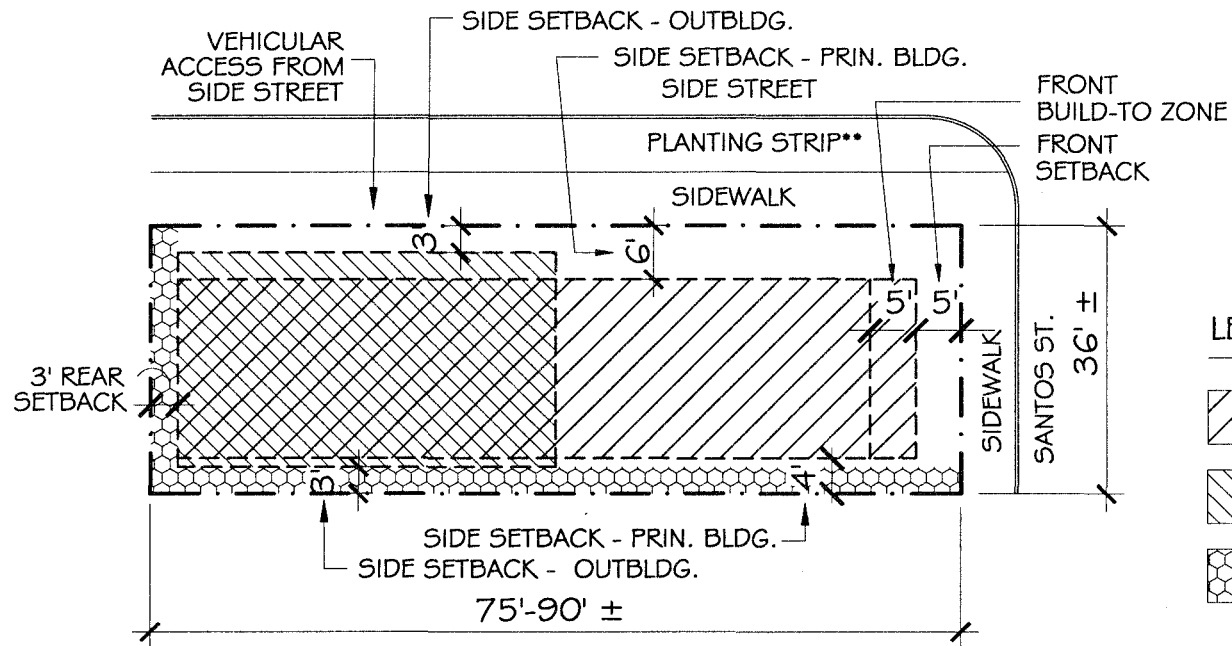
VEHICULAR ACCESS OCCURS FROM THE FRONT STREET DRIVEWAY.

\*\* NOTE: PLANTING STRIP IN SOME LOCATIONS ONLY.






# SITING - CORNER LOTS

## TYPE IVB - SIDEYARD HOUSE - STREET ACCESS (GRD-1)



### LEGEND

-  PRINCIPAL BUILDING BUILDABLE AREA
-  OUTBUILDING BUILDABLE AREA
-  3'-0" EASEMENT GRANTED TO ADJACENT PROPERTY OWNER AT SOME LOCATIONS

### GENERAL REQUIREMENTS:

FRONT FACADE SHALL BE LOCATED WITHIN THE FRONT BUILD-TO ZONE, 5'-0" TO 10'-0" FROM THE FRONT PROPERTY LINE. THE BUILDING SHALL BE BUILT TO AT LEAST 50% OF THE LOT WIDTH.

SIDE SETBACK IS 6'-0" AT SIDE STREET AND 4'-0" AT THE OTHER SIDE FOR PRINCIPAL BUILDING. SIDE SETBACK IS 3'-0" FOR OUTBUILDINGS.

THE SIDE STREET FACADE SHALL EXTEND A MINIMUM OF 25% OF THE LOT LENGTH.

THE REAR SETBACK IS 3'-0" FOR PRINCIPAL BUILDING AND OUTBUILDINGS.

SITE AND BUILDING DESIGNS INVOLVING LOT CONSOLIDATION OF "FAMILY GROUP" LOTS WILL BE CAREFULLY EVALUATED TO ENSURE DESIGN MEETS INTENT OF THE ARAGON DESIGN CODE.

OWNERS OF BLOCK 'A' LOTS 5, 6, AND 8-13 AND BLOCK 'F' LOTS 3 AND 4, GRANT ADJACENT WEST PROPERTY OWNER A NON-EXCLUSIVE EASEMENT, NOT TO EXCEED 3'-0", FOR ENCROACHMENTS INCLUDING ROOF OVERHANGS, DOWNSPOUTS, AND FOUNDATION FOOTINGS, AND FOR MAINTENANCE OF EXTERIOR AND GARDEN WALLS LOCATED ON PROPERTY LINE. OWNERS OF BLOCK 'A' LOTS 2-6 GRANT SAME EASEMENT TO ADJACENT NORTH PROPERTY OWNER.

COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 75%.

OUTBUILDINGS AND PARKING MAY OCCUR AT THE REAR 1/2 OF THE LOT ONLY.

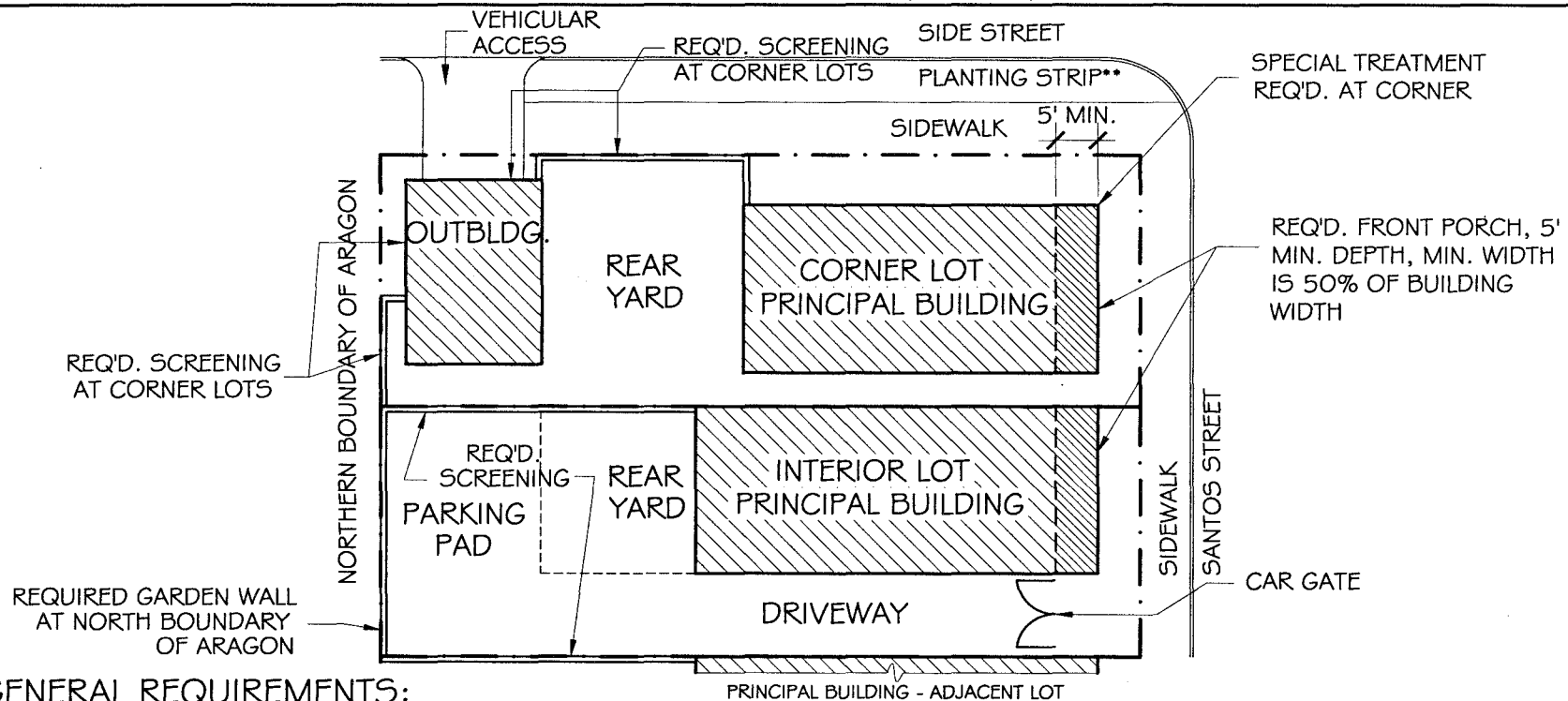
VEHICULAR ACCESS OCCURS FROM THE SIDE STREET OR ALLEY.

\*\* NOTE: PLANTING STRIP OCCURS IN SOME LOCATIONS ONLY.



# ARCHITECTURAL ELEMENTS

## TYPE IVB - SIDYARD HOUSE - STREET ACCESS (GRD-1)



### GENERAL REQUIREMENTS:

#### PORCHES AND BALCONIES

FRONT PORCHES ARE REQUIRED AT THE FIRST FLOOR OF THE PRINCIPAL BUILDING. FRONT PORCHES SHALL BE A MINIMUM OF 5'-0" DEEP. THE WIDTH SHALL BE AT LEAST 50% OF THE WIDTH OF THE BUILDING. THE OUTER PORCH EDGE SHALL BE LOCATED WITHIN THE FRONT BUILD-TO ZONE.

SECOND FLOOR FRONT PORCHES AND BALCONIES, AND REAR AND SIDE PORCHES AND BALCONIES AT PRINCIPAL AND OUTBUILDINGS, ARE ENCOURAGED.

#### DEFINED BUILDING CORNERS

AT CORNER LOTS, WELL DEFINED CORNERS ARE REQUIRED. ATTENTION TO BOTH ELEVATIONS MUST BE CAREFULLY CONSIDERED. ACCEPTABLE BUILDING TREATMENTS INCLUDE: A CURVED CORNER, A 45-DEGREE ANGLED CORNER, OR A WRAPAROUND PORCH.

#### CHIMNEYS AND STOOPS

FRONT STOOP CAN ENCROACH INTO FRONT SETBACK UP TO 3'-6". CHIMNEYS CAN ENCROACH INTO SIDE SETBACK WHERE NO EASEMENT EXISTS.

#### GARDEN WALLS, FENCES, CAR GATES, AND SCREENING

AT INTERIOR LOTS, CAR GATES TO SCREEN DRIVEWAYS ARE STRONGLY ENCOURAGED. THEY MAY BE LOCATED BETWEEN THE FRONT EDGE OF THE FRONT PORCH AND THE FRONT BUILDING WALL.

ON ARAGON'S NORTH BOUNDARY LINE, GARDEN WALLS ARE REQUIRED AT PROPERTY LINE WHERE NO BUILDING WALL EXISTS AT REAR SETBACK LINE.

FENCES ARE ALLOWED AT FRONT PROPERTY LINE AND AT CORNER LOTS AT SIDE PROPERTY LINE BETWEEN FRONT LOT CORNER AND REAR PRINCIPAL BUILDING CORNER.

\*\* NOTE: PLANTING STRIP OCCURS IN SOME LOCATIONS ONLY.

AT INTERIOR LOTS, SCREENING IS REQUIRED ON BUILD-TO SIDE PROPERTY LINE WHERE NO BUILDING WALL IS BUILT EXCEPT REAR 3'-0" OF LOT UNLESS ADJACENT OWNERS HAVE AGREED TO SHARE A COURTYARD. OPPOSITE SIDE SCREENING IS REQUIRED, BUT IS THE RESPONSIBILITY OF ADJACENT OWNER.

TRASH RECEPTACLES MAY BE STORED IN REAR HALF OF LOT ONLY AND MUST BE SCREENED FROM VIEW SO THEY ARE NOT VISIBLE.

AT CORNER LOTS, OUTBUILDINGS AND/OR GARDEN WALLS WITH CAR GATES ARE REQUIRED TO SCREEN REAR YARDS, PARKING, AND TRASH RECEPTACLES. TRASH RECEPTACLES MAY BE STORED IN REAR HALF OF LOT ONLY. GARDEN WALLS SCREENING REAR YARD (AT SIDE AND REAR) MAY OCCUR ANYWHERE BETWEEN PROPERTY LINE AND SETBACK LINE. SIDE YARD GARDEN WALL MAY RETURN TO REAR CORNER OF PRINCIPAL BUILDING OR MAY OVERLAP UP TO 25% OF THE BUILDING LENGTH.

#### PRIVACY

WINDOWS IN WALLS LOCATED ON SIDE PROPERTY LINE ARE LIMITED TO THOSE NECESSARY FOR LIGHT. SILL HEIGHTS MUST BE AT LEAST 6'-0" ABOVE FINISHED FLOOR, OR WINDOWS MUST BE INOPERABLE AND HAVE OBSCURE GLAZING.



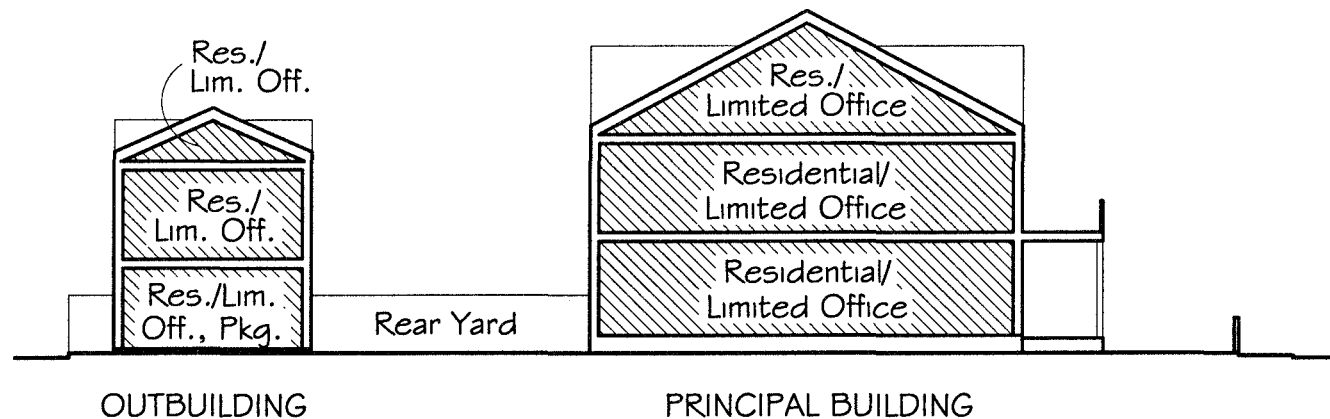




TYPE V - SM COTTAGE



## USE TYPE V - SMALL COTTAGE (GRD-1)



### USE DIAGRAM

NOTE: BUILDING SIZE AND LOCATION MAY VARY. SEE "SITING" REQUIREMENTS.

#### FOR PRINCIPAL BUILDINGS:

USE IS AS INDICATED IN DIAGRAM.

##### RESIDENTIAL USES INCLUDE:

SINGLE AND MULTI-FAMILY RESIDENTIAL,  
ATTACHED OR DETACHED.

HOME OCCUPATIONS OCCUPYING NOT  
MORE THAN 60% OF TOTAL FLOOR  
AREA AND HAVING NOT MORE THAN 2  
NON-FAMILY MEMBERS AS EMPLOYEES.

BED AND BREAKFAST.

##### LIMITED OFFICE USES INCLUDE:

OFFICES LIMITED TO 3,000 SQUARE FEET,  
PROVIDED SINGLE AND MULTI-FAMILY  
RESIDENTIAL USE OCCUPIES AT LEAST 50%  
OF THE TOTAL SQUARE FOOTAGE OF THE  
PRINCIPAL BUILDING AND OUTBUILDINGS.  
ALL OTHER REQUIREMENTS INCLUDING  
PARKING MUST BE MET.

#### FOR OUTBUILDINGS:

USE IS AS INDICATED IN DIAGRAM.

USES INCLUDE DETACHED GARAGES,  
GARAGE APARTMENTS, STUDIOS,  
WORKSHOPS, STORAGE BUILDINGS,  
POOL HOUSES, CARRIAGE HOUSES,  
GRANNY FLATS AND LIMITED OFFICE  
USE.

OUTBUILDINGS ARE ENCOURAGED BUT  
NOT REQUIRED, EXCEPT AS INDICATED  
ON THE REGULATING PLAN.

#### LOT CONSOLIDATION:

LOTS CANNOT BE CONSOLIDATED FOR  
THE PURPOSE OF CONSTRUCTING A  
SINGLE BUILDING.

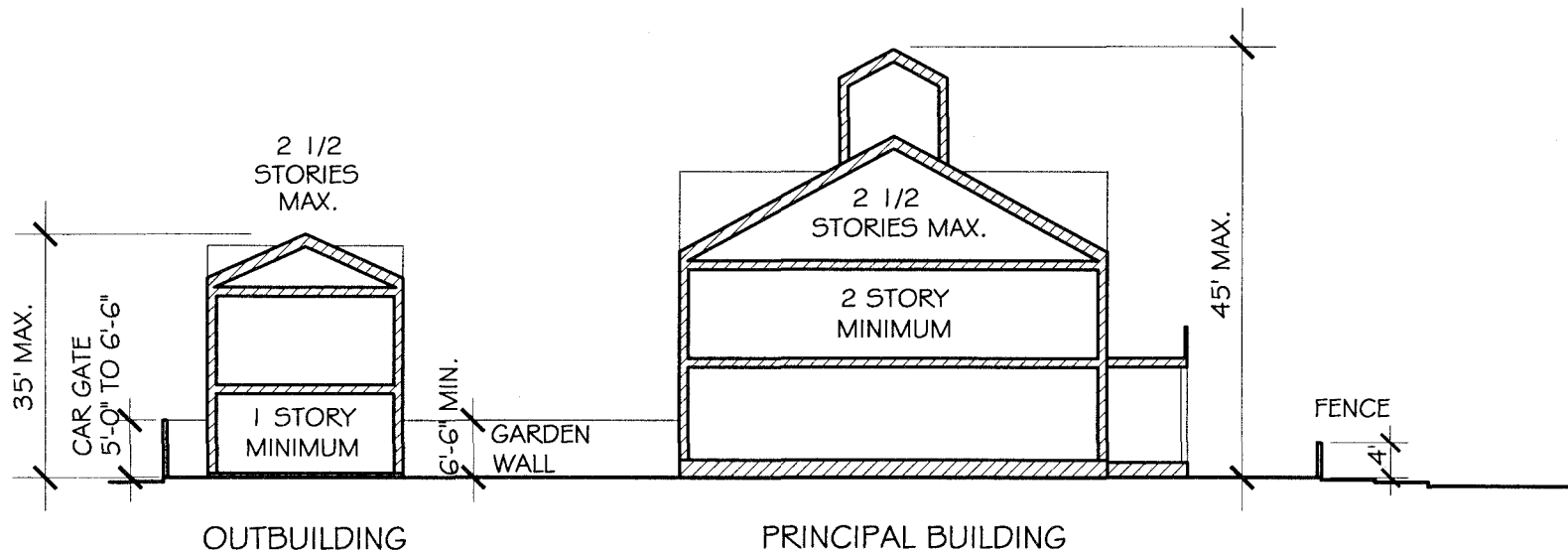
#### NUMBER OF UNITS:

MAXIMUM NUMBER OF RESIDENTIAL AND  
OFFICE UNITS IS 2 PER LOT.



# HEIGHTS

## TYPE V - SMALL COTTAGE (GRD-1)



### PRINCIPAL BUILDINGS:

MAXIMUM HEIGHT IS 45'-0",  
2 1/2 STORIES.

ROOFTOP ELEMENTS, WITH THE EXCEPTION  
OF CHIMNEYS, MAY NOT EXCEED THE  
MAXIMUM ALLOWABLE HEIGHT OF  
PRINCIPAL BUILDING. ELEMENTS INCLUDE,  
BUT ARE NOT LIMITED TO, WIDOWS'  
WALKS, ROOF DECKS, TOWERS, TURRETS  
AND CUPOLAS.

GROUND FLOOR HEIGHT IS 2'-0" ABOVE  
GRADE. SECOND FLOOR HEIGHT IS 14'-0"  
ABOVE GRADE. SECOND FLOOR CEILING  
HEIGHT IS 24'-0" ABOVE GRADE.

### OUTBUILDINGS:

MAXIMUM HEIGHT IS 35'-0",  
2 1/2 STORIES.

MINIMUM CEILING HEIGHT IS 9'-0"  
ABOVE GRADE FOR 1 STORY  
BUILDING.

MINIMUM GROUND FLOOR TO CEILING  
HEIGHT IS 8'-0" FOR 2 STORY BLDG.

MINIMUM UPPER FLOOR TO CEILING  
HEIGHT IS 8'-0".

FIRST FLOOR ELEVATION IS NOT  
REQUIRED TO BE RAISED OFF GRADE.  
MINIMUM FIRST FLOOR ELEVATION MUST BE  
AT LEAST 9'-0" ABOVE SEA LEVEL FOR  
HABITABLE SPACE.

### GARDEN WALLS:

MINIMUM HEIGHT OF GARDEN WALLS IS 6'-6".  
GARDEN WALLS WITHIN THE BUILDABLE AREA (SEE  
"SITING" SECTIONS) MAY BE UP TO 10'-0" IN  
HEIGHT IF APPROVED BY AARB. POSTS AND  
PILASTERS MAY BE UP TO 12" ABOVE THE HEIGHT  
LIMITATIONS.

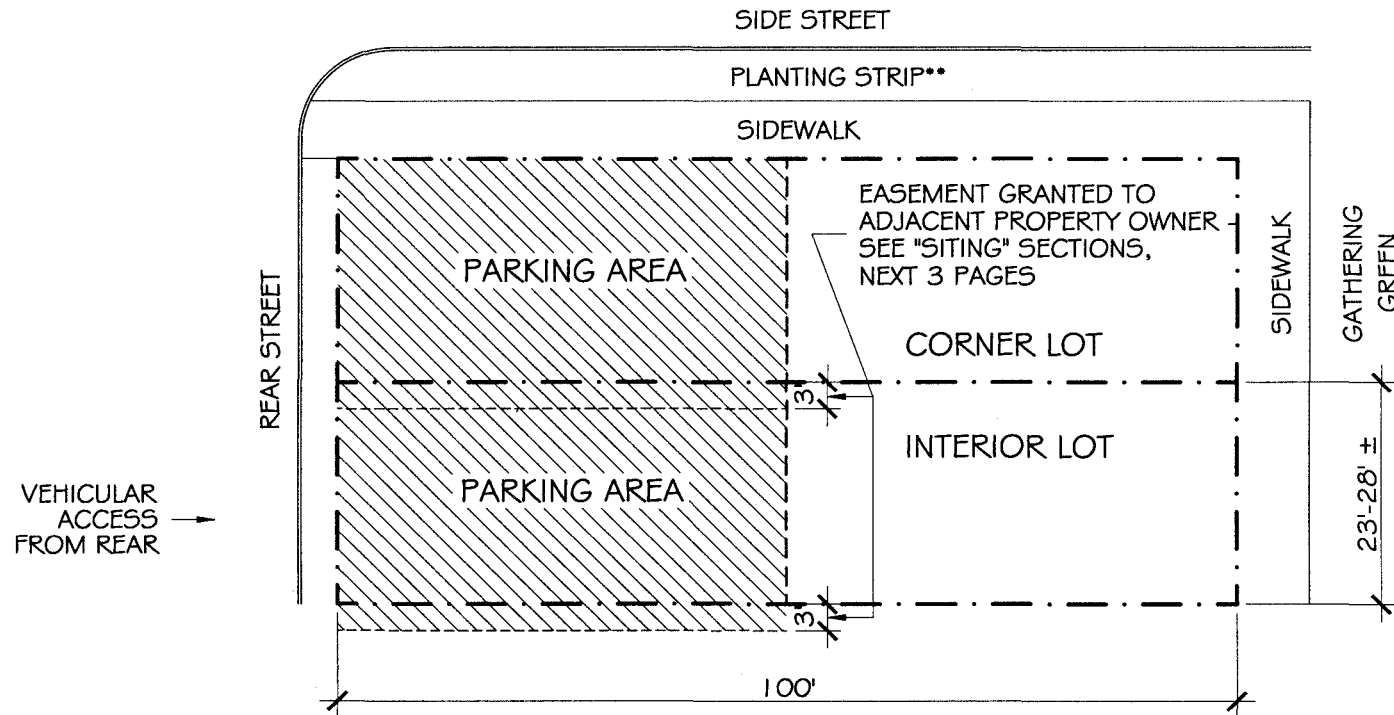
### FENCES:

REQUIRED HEIGHT IS 4'-0" FOR REQUIRED  
FENCES AT FRONT PROPERTY LINE.  
PILASTERS AND POSTS MAY EXTEND UP TO  
12" ABOVE THE HEIGHT LIMITATIONS.

### CAR GATES:

REQUIRED HEIGHT IS BETWEEN 5'-0" AND  
6'-6". PILASTERS AND POSTS MAY EXTEND  
UP TO 12" ABOVE THE HEIGHT LIMITATIONS.

# PARKING TYPE V - SMALL COTTAGE (GRD-1)



## GENERAL REQUIREMENTS:

PARKING SHALL BE PROVIDED IN THE AREA SHOWN AT THE REAR HALF OF THE LOT. ACCESS SHALL BE PROVIDED FROM THE REAR STREET.

PARKING CAN BE LOCATED IN DETACHED GARAGES OR, IF SCREENED FROM STREET, ON PARKING PADS.

\*\* NOTE: PLANTING STRIP AT SOME LOCATIONS ONLY.

## RESIDENTIAL PARKING REQUIREMENTS:

SINGLE AND MULTI-FAMILY UNITS:  
1 SPACE PER UNIT

HOME OCCUPATION: 1 SPACE PER  
NON-FAMILY EMPLOYEE

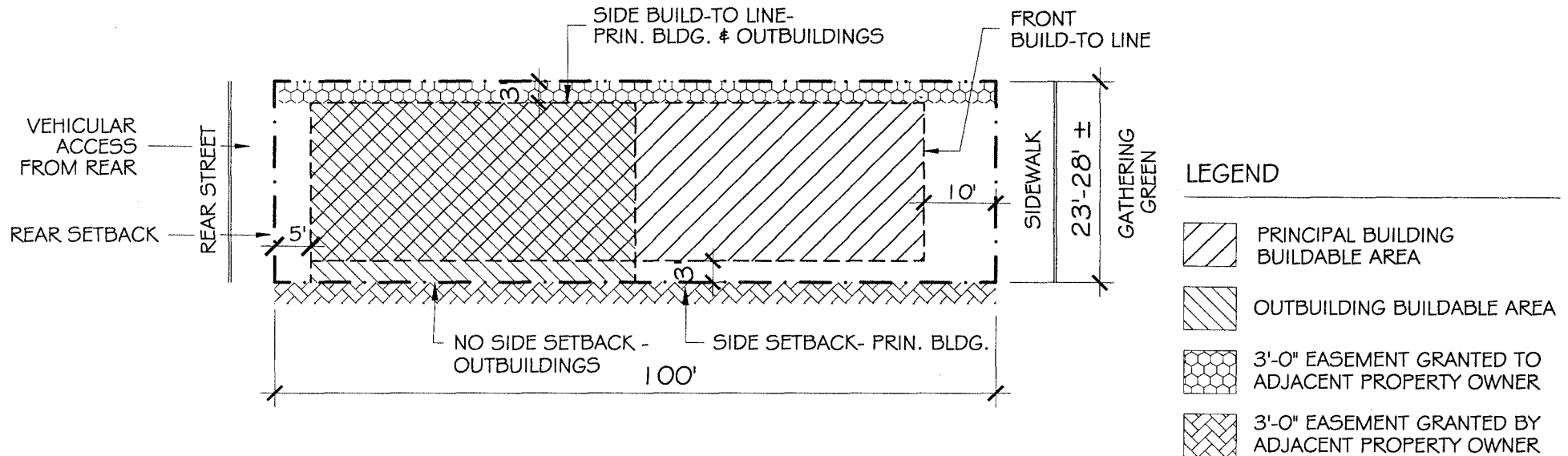
BED AND BREAKFAST: 1 SPACE PER  
OWNER PLUS 1 PER SLEEPING ROOM

## LIMITED OFFICE PARKING REQUIREMENTS:

1 SPACE PER 500 S.F.



# SITING - INTERIOR LOTS TYPE V - SMALL COTTAGE (GRD-1)



## GENERAL REQUIREMENTS:

FRONT PORCH SHALL BE LOCATED ON THE FRONT BUILD-TO LINE, 10'-0" FROM THE FRONT PROPERTY LINE (PARK SIDE). THE BUILDING SHALL BE BUILT TO AT LEAST 60% OF THE LOT WIDTH.

SIDE BUILD-TO LINE ON THE NORTH SIDE IS 3'-0" FROM THE SIDE PROPERTY LINE FOR PRINCIPAL BUILDING AND OUTBUILDINGS. SIDE SETBACK ON THE SOUTH SIDE IS 3'-0" FOR THE PRINCIPAL BUILDING. THERE IS NO SOUTH SIDE SETBACK FOR OUTBUILDINGS.

THE REAR SETBACK IS 5'-0" FOR PRINCIPAL BUILDING AND OUTBUILDINGS.

OWNER GRANTS ADJACENT NORTH PROPERTY OWNER AN EXCLUSIVE EASEMENT FOR THE USE (INCLUDING INSTALLING UTILITIES, GARDEN WALLS, FENCES, AND GATES), LANDSCAPING, AND MAINTENANCE OF THE NORTH 3'-0" OF PROPERTY, PROVIDED SOUTH PROPERTY OWNER HAS A RIGHT FOR OVERHANGS, DOWNSPOUTS, AND FOUNDATION FOOTINGS TO BE LOCATED IN THIS AREA AND FOR MAINTENANCE OF THESE AND EXTERIOR AND GARDEN WALLS.

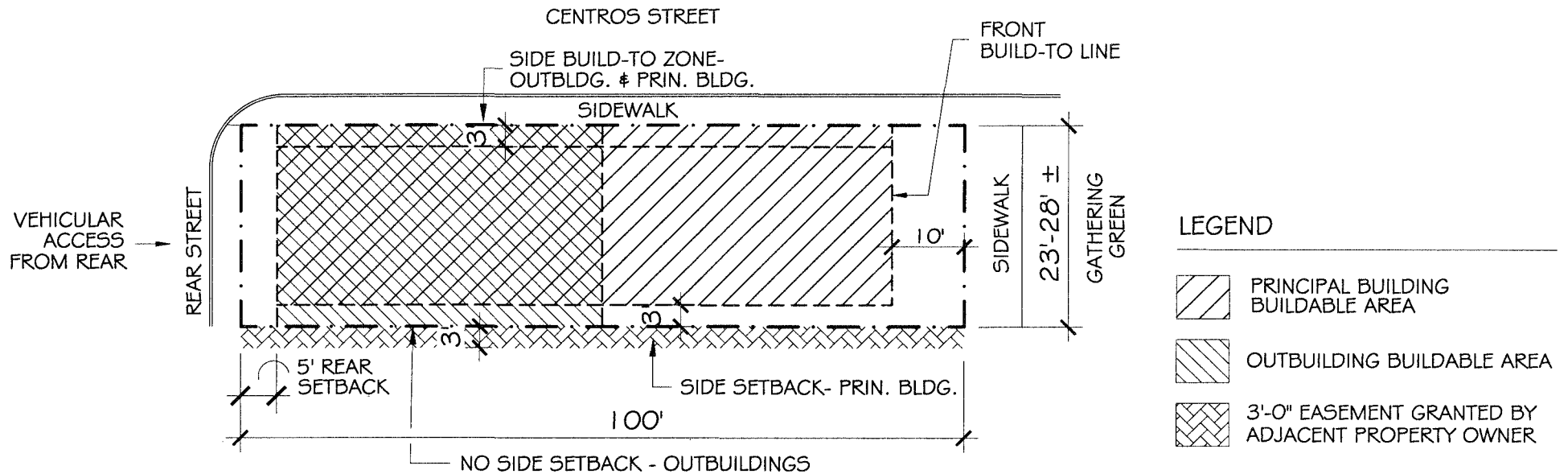
COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 75%.

OUTBUILDINGS AND PARKING MAY OCCUR AT THE REAR 1/2 OF THE LOT ONLY.

VEHICULAR ACCESS OCCURS FROM THE REAR STREET.



# SITING - NORTH CORNER LOTS TYPE V - SMALL COTTAGE (GRD-1)



## GENERAL REQUIREMENTS:

FRONT PORCH SHALL BE LOCATED AT THE FRONT BUILD-TO LINE, 10'-0" FROM THE FRONT PROPERTY LINE (PARK SIDE). THE BUILDING SHALL BE BUILT TO AT LEAST 60% OF THE LOT WIDTH.

SIDE SETBACK ON SOUTH SIDE IS 3'-0" FOR THE PRINCIPAL BUILDING. THERE IS NO SOUTH SIDE SETBACK FOR OUTBUILDINGS. SIDE BUILD-TO ZONE ON NORTH SIDE IS UP TO 3'-0" FROM SIDE PROPERTY LINE.

THE SIDE STREET FACADE SHALL EXTEND A MINIMUM OF 25% OF THE LOT LENGTH.

THE REAR SETBACK IS 5'-0" FOR PRINCIPAL BUILDING AND OUTBUILDINGS.

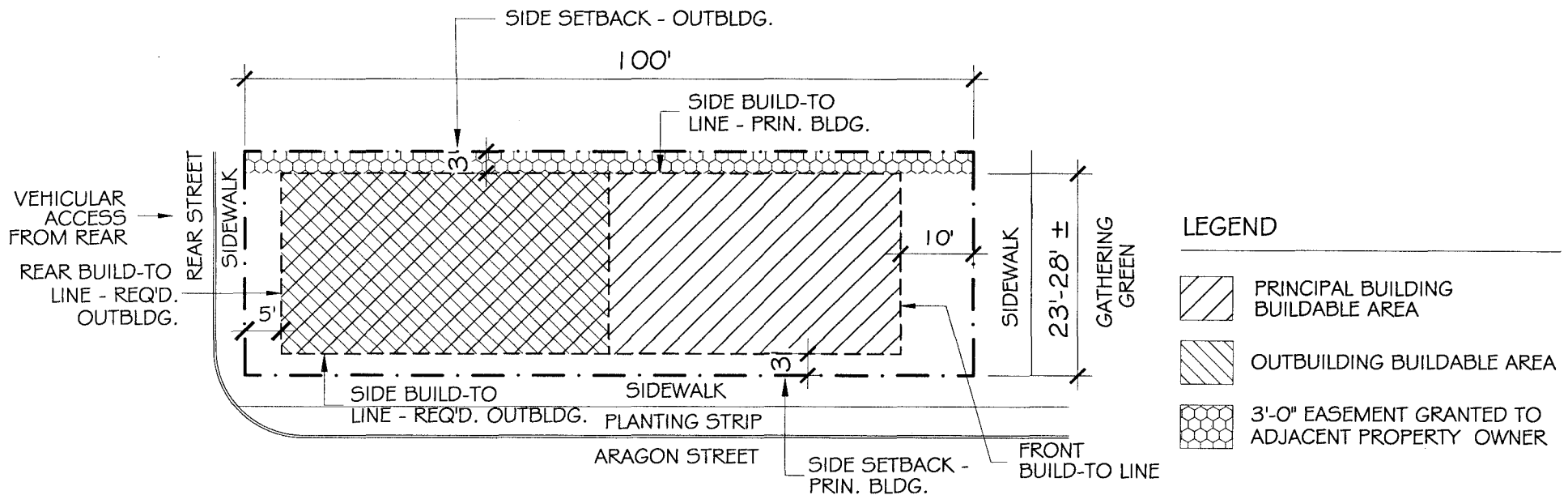
COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 75%.

OUTBUILDINGS AND PARKING MAY OCCUR AT THE REAR 1/2 OF THE LOT ONLY.

VEHICULAR ACCESS OCCURS FROM THE REAR STREET.



# SITING - SOUTH CORNER LOTS TYPE V - SMALL COTTAGE (GRD-1)



## GENERAL REQUIREMENTS:

FRONT PORCH SHALL BE LOCATED AT THE FRONT BUILD-TO LINE, 10'-0" FROM THE FRONT PROPERTY LINE (PARK SIDE). THE BUILDING SHALL BE BUILT TO AT LEAST 60% OF THE LOT WIDTH.

SIDE SETBACK ON SOUTH SIDE IS 3'-0" FOR PRINCIPAL BUILDING. SIDE BUILD-TO LINE ON THE SOUTH SIDE IS 3'-0" FOR THE REQUIRED 2 STORY OUTBUILDING. SIDE BUILD-TO LINE ON NORTH SIDE IS 3'-0" FROM SIDE PROPERTY LINE FOR PRINCIPAL BUILDING. SIDE SETBACK ON NORTH SIDE IS 3'-0" FOR OUTBUILDINGS.

THE SIDE STREET FACADE SHALL EXTEND A MINIMUM OF 25% OF THE LOT LENGTH.

FOR THE REQUIRED 2 STORY OUTBUILDING, THE REAR BUILD-TO LINE IS 5'-0" FROM THE REAR PROPERTY LINE.

OWNER GRANTS ADJACENT NORTH PROPERTY OWNER AN EXCLUSIVE EASEMENT FOR THE USE (INCLUDING INSTALLING UTILITIES, GARDEN WALLS, FENCES, AND GATES), LANDSCAPING, AND MAINTENANCE OF THE NORTH 3'-0" OF PROPERTY, PROVIDED SOUTH PROPERTY OWNER HAS A RIGHT FOR OVERHANGS, DOWNSPOUTS, AND FOUNDATION FOOTINGS TO BE LOCATED IN THIS AREA AND FOR MAINTENANCE OF THESE AND EXTERIOR AND GARDEN WALLS.

COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 75%.

OUTBUILDINGS AND PARKING MAY OCCUR AT THE REAR 1/2 OF THE LOT ONLY.

VEHICULAR ACCESS OCCURS FROM THE REAR STREET.



# ARCHITECTURAL ELEMENTS

## TYPE V - SMALL COTTAGE (GRD-1)

### GENERAL REQUIREMENTS:

#### FRONT FACADE AND ROOFS

PRINCIPAL BUILDING SHALL HAVE A 3-BAY COMPOSITION ON THE FRONT FACADE. ROOF AT FRONT SHALL BE EITHER HIP OR GABLE ONLY.

#### PORCHES AND BALCONIES

DOUBLE GALLERIED FRONT PORCHES ARE REQUIRED AT THE FIRST AND SECOND FLOOR OF THE PRINCIPAL BUILDING. FRONT PORCHES SHALL BE A MINIMUM OF 6'-0" DEEP. THE WIDTH SHALL BE 100% OF THE WIDTH OF THE BUILDING. THE OUTER PORCH EDGE SHALL BE LOCATED AT THE FRONT BUILD-TO LINE, 1'-0" FROM THE FRONT PROPERTY LINE.

CANTILEVERED REAR BALCONIES ARE ALLOWED TO ENCROACH INTO THE REAR SETBACK IF 8'-0" OF VERTICAL CLEARANCE IS PROVIDED.

OTHER PORCHES AND BALCONIES AT PRINCIPAL BUILDING AND OUTBUILDINGS ARE ENCOURAGED.

#### DEFINED BUILDING CORNERS

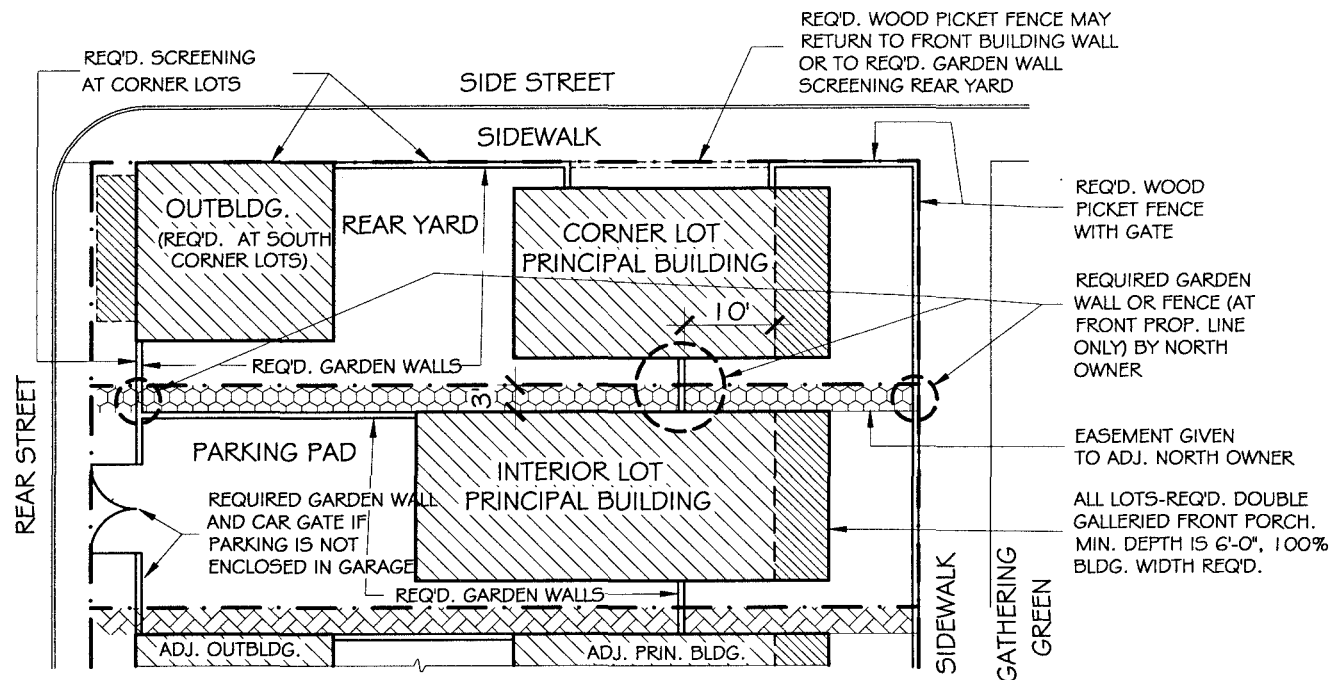
AT CORNER LOTS, WELL DEFINED BUILDING CORNERS ARE REQUIRED. ATTENTION TO BOTH ELEVATIONS MUST BE CAREFULLY CONSIDERED. ACCEPTABLE BUILDING TREATMENTS INCLUDE A CURVED CORNER, A 45-DEGREE ANGLED CORNER, OR A WRAPAROUND PORCH.

#### CHIMNEYS AND STOOPS

FRONT STOOP CAN ENCROACH INTO FRONT SETBACK UP TO 3'-6". CHIMNEYS CAN ENCROACH INTO SOUTH SIDE SETBACK.

#### GARDEN WALLS, FENCES, AND SCREENING

PAINTED WOOD PICKET FENCE (4'-0" HIGH) WITH GATE IS REQUIRED AT FRONT PROPERTY LINE. NORTH OWNER IS RESPONSIBLE FOR PROVIDING FRONT FENCE AT FRONT PROPERTY LINE THROUGH HIS OR HER GAINED SOUTH SIDE EASEMENT. AT CORNER LOTS, FENCE MUST RETURN ALONG SIDE PROPERTY LINE TO EITHER FRONT BUILDING WALL OR REAR YARD GARDEN WALL. IF PRINCIPAL BUILDING IS ON SIDE PROPERTY LINE, GARDEN WALL MUST RETURN ALONG SIDE PROPERTY LINE TO FRONT EDGE OF FRONT PORCH.



FOR ALL LOTS EXCEPT NORTH CORNER LOTS AND LOTS WHERE ADJACENT OWNERS HAVE AGREED TO SHARE A COURTYARD, GARDEN WALL IS REQUIRED 3'-0" FROM NORTH SIDE PROPERTY LINE WHERE NO BUILDING WALL EXISTS BETWEEN THE REAR OF THE PRINCIPAL BUILDING AND THE REAR SETBACK LINE.

SCREENING IS REQUIRED AT REAR SETBACK LINE. SCREENING MAY BE EITHER AN OUTBUILDING AND GARDEN WALL, OR A GARDEN WALL W/ CAR GATE.

NORTH OWNER IS RESPONSIBLE FOR PROVIDING GARDEN WALL AT REAR SETBACK CONTINUING THROUGH HIS OR HER GAINED SOUTH SIDE EASEMENT (3'-0").

AT CORNER LOTS, SIDE YARD GARDEN WALL MAY RETURN TO REAR CORNER OF PRINCIPAL BUILDING OR MAY OVERLAP UP TO 25% OF BUILDING LENGTH.

TRASH RECEPTACLES MAY BE STORED IN REAR HALF OF LOT ONLY AND MUST BE SCREENED SO THEY ARE NOT VISIBLE.

MECHANICAL UNITS SHALL BE LOCATED IN REAR YARD OR IN SOUTH SIDE YARD AND MUST BE SCREENED FROM STREET.

NORTH OWNER MUST PROVIDE A GARDEN WALL PARALLEL TO FRONT FACADE TO SCREEN SOUTH SIDE YARD. GARDEN WALL MUST BE LOCATED AT LEAST 1'-0" FROM FRONT CORNER OF BUILDING (EXCLUDING PORCH) AND BE COMPATIBLE WITH SOUTH ADJACENT BUILDING.

NORTH SIDE EASEMENT GRANTED TO NORTH ADJACENT PROPERTY OWNER SHALL NOT BE BUILT IN EXCEPT FOR REQUIRED GARDEN WALLS AND FENCE AND AS NEEDED FOR FOUNDATION FOOTINGS AS DESCRIBED IN EASEMENT.

#### PRIVACY

EXCEPT AT NORTH CORNER LOTS, DOORS ARE PROHIBITED IN NORTH BUILDING WALL, AND WINDOWS ARE LIMITED TO THOSE NECESSARY FOR LIGHT. SILL HEIGHT MUST BE AT LEAST 6'-0" ABOVE FINISHED FLOOR, OR WINDOW MUST BE INOPERABLE AND HAVE OBSCURE GLAZING.



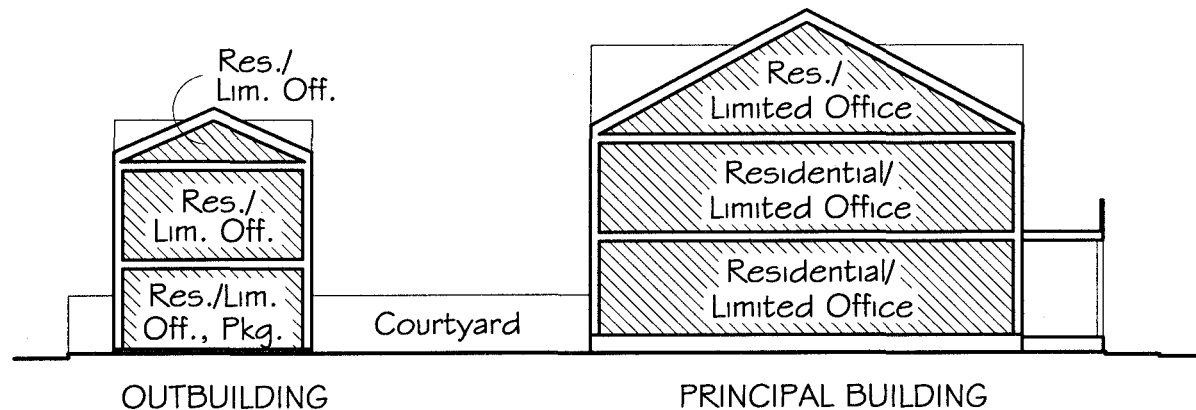




TYPE VI - ROW HOUSE



# USE TYPE VI - ROW HOUSE (GRD-1)



## USE DIAGRAM

NOTE: BUILDING SIZE AND LOCATION MAY VARY. SEE "SITING" REQUIREMENTS.

### FOR PRINCIPAL BUILDINGS:

USE IS AS INDICATED IN DIAGRAM.

#### RESIDENTIAL USES INCLUDE:

SINGLE AND MULTI-FAMILY RESIDENTIAL, ATTACHED OR DETACHED.

HOME OCCUPATIONS OCCUPYING NOT MORE THAN 60% OF TOTAL FLOOR AREA AND HAVING NOT MORE THAN 2 NON-FAMILY MEMBERS AS EMPLOYEES.

BED AND BREAKFAST.

#### LIMITED OFFICE USES INCLUDE:

OFFICES LIMITED TO 3,000 SQUARE FEET, PROVIDED SINGLE AND MULTI-FAMILY RESIDENTIAL USE OCCUPIES AT LEAST 50% OF THE TOTAL SQUARE FOOTAGE OF THE PRINCIPAL BUILDING AND OUTBUILDINGS. ALL OTHER REQUIREMENTS INCLUDING PARKING MUST BE MET.

### FOR OUTBUILDINGS:

USE IS AS INDICATED IN DIAGRAM.

USES INCLUDE DETACHED GARAGES, GARAGE APARTMENTS, STUDIOS, WORKSHOPS, STORAGE BUILDINGS, POOL HOUSES, CARRIAGE HOUSES, GRANNY FLATS AND LIMITED OFFICE USE.

OUTBUILDINGS ARE ENCOURAGED BUT NOT REQUIRED, EXCEPT AS INDICATED ON THE REGULATING PLAN.

### LOT CONSOLIDATION:

LOTS CANNOT BE CONSOLIDATED FOR THE PURPOSE OF CONSTRUCTING A SINGLE BUILDING, EXCEPT FOR THOSE DESIGNATED AS "FAMILY GROUP."

FOR THOSE DESIGNATED AS "FAMILY GROUP" ON THE REGULATING PLAN, UP TO 4 LOTS CAN BE CONSOLIDATED FOR THE PURPOSE OF CONSTRUCTING MULTIPLE UNITS.

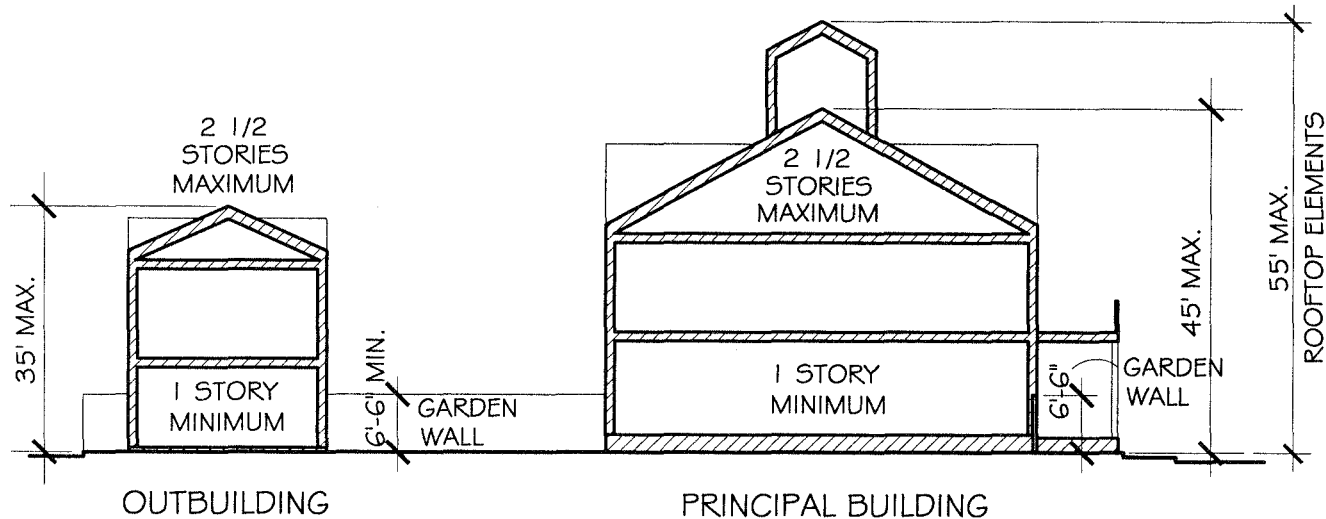
### NUMBER OF UNITS:

THE MINIMUM NUMBER OF UNITS MUST EQUAL THE NUMBER OF LOTS CONSOLIDATED. THE MAXIMUM NUMBER OF RESIDENTIAL AND OFFICE UNITS IS 2 PER LOT.



# HEIGHTS

## TYPE VI - ROW HOUSE (GRD-1)



### PRINCIPAL BUILDINGS:

MAXIMUM HEIGHT IS 45'-0",  
2 1/2 STORIES.

ROOFTOP ELEMENTS, WITH THE EXCEPTION  
OF CHIMNEYS, MAY NOT EXCEED 55'-0".  
ELEMENTS INCLUDE, BUT ARE NOT LIMITED  
TO, WIDOWS' WALKS, ROOF DECKS,  
TOWERS, TURRETS AND CUPOLAS.

MINIMUM CEILING HEIGHT  
IS 13'-6" ABOVE GRADE FOR  
1 STORY BUILDING.

MINIMUM GROUND FLOOR TO CEILING  
HEIGHT IS 10'-0" FOR 2 STORY BUILDING.

MINIMUM UPPER FLOOR TO CEILING  
HEIGHT IS 9'-0".

FIRST FLOOR ELEVATION MUST BE RAISED  
1'-6" TO 3'-0" OFF GRADE. MINIMUM FIRST  
FLOOR ELEVATION MUST BE AT LEAST 9'-0"  
ABOVE SEA LEVEL.

### OUTBUILDINGS:

MAXIMUM HEIGHT IS 35'-0",  
2 1/2 STORIES.

MINIMUM CEILING HEIGHT IS 9'-0"  
ABOVE GRADE FOR 1 STORY  
BUILDING.

MINIMUM GROUND FLOOR TO CEILING  
HEIGHT IS 8'-0" FOR 2 STORY BLDG.

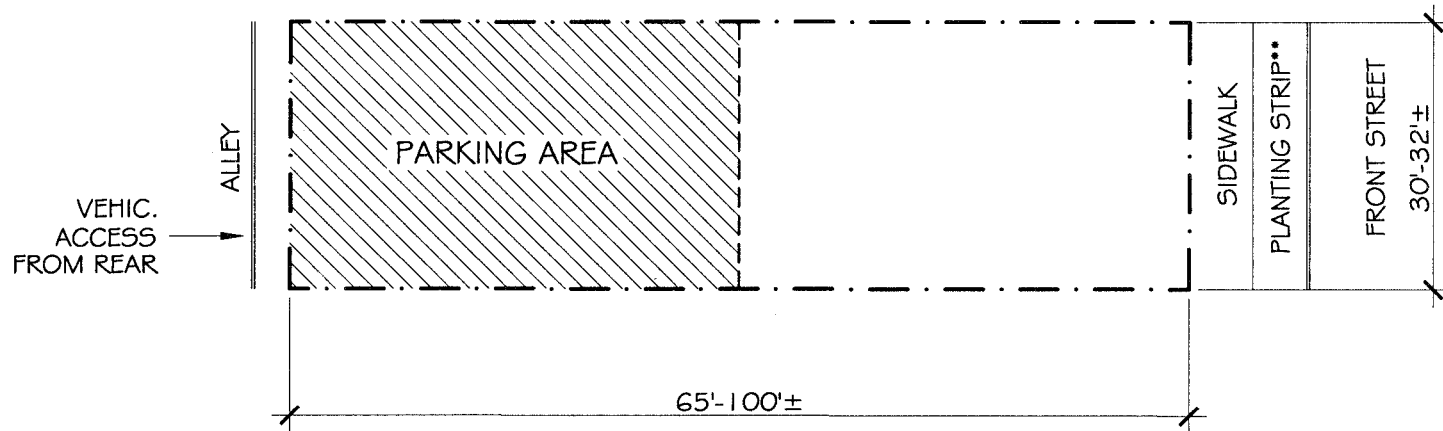
MINIMUM UPPER FLOOR TO CEILING  
HEIGHT IS 8'-0".

FIRST FLOOR ELEVATION IS NOT  
REQUIRED TO BE RAISED OFF GRADE.  
MINIMUM FIRST FLOOR ELEVATION  
MUST BE AT LEAST 9'-0" ABOVE SEA  
LEVEL FOR HABITABLE SPACE.

### GARDEN WALLS:

MINIMUM HEIGHT FOR GARDEN  
WALLS IS 6'-6". GARDEN WALLS  
WITHIN THE BUILDABLE AREA (SEE  
"SITING" SECTIONS) MAY BE UP  
TO 10'-0" IN HEIGHT IF APPROVED  
BY AARB. PILASTERS AND POSTS  
MAY EXTEND UP TO 12" ABOVE  
THE HEIGHT LIMITATIONS.

# PARKING TYPE VI - ROW HOUSE (GRD-1)



## GENERAL REQUIREMENTS:

PARKING SHALL BE PROVIDED IN THE AREA SHOWN AT THE REAR HALF OF THE LOT. ACCESS SHALL BE PROVIDED FROM THE REAR ALLEY.

PARKING CAN BE LOCATED IN DETACHED GARAGES OR ON PARKING PADS.

## RESIDENTIAL PARKING REQUIREMENTS:

SINGLE AND MULTI-FAMILY UNITS:  
1 SPACE PER UNIT

HOME OCCUPATION: 1 SPACE PER  
NON-FAMILY EMPLOYEE

BED AND BREAKFAST: 1 SPACE PER  
OWNER PLUS 1 PER SLEEPING ROOM

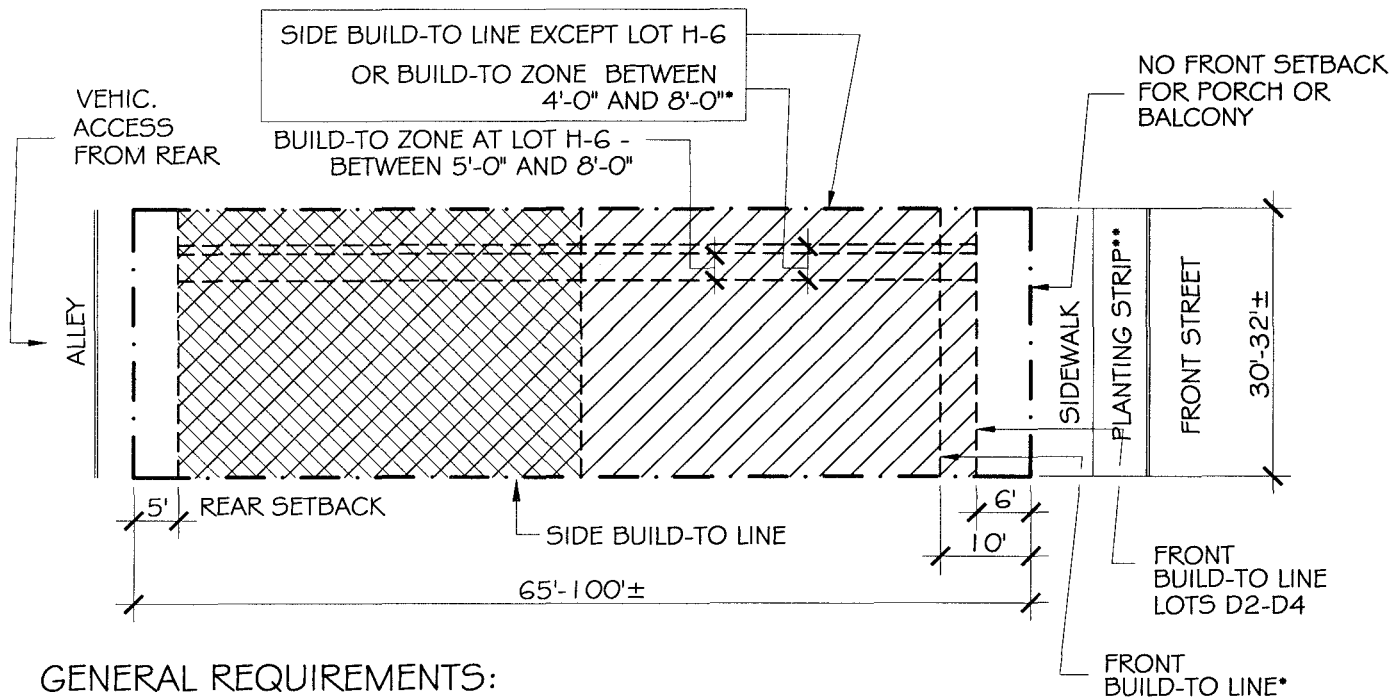
## LIMITED OFFICE PARKING REQUIREMENTS:

1 SPACE PER 500 S.F.



\*\* NOTE: PLANTING STRIP OCCURS AT SOME LOCATIONS ONLY.



**SITING - INTERIOR LOTS  
TYPE VI - ROW HOUSE (GRD-1)**



### LEGEND

-  PRINCIPAL BUILDING  
BUILDABLE AREA
-  OUTBUILDING BUILDABLE AREA
- \* EXCEPT LOTS NOTED OTHERWISE .
  - \*\* NOTE: PLANTING STRIP OCCURS AT SOME LOCATIONS ONLY.

### GENERAL REQUIREMENTS:

FOR ALL INTERIOR LOTS EXCEPT D2-D4, FRONT BUILDING WALL SHALL BE LOCATED ON THE FRONT BUILD-TO LINE, 10'-0" FROM FRONT PROPERTY LINE. FOR LOTS D2-D4, FRONT BUILDING WALL SHALL BE LOCATED ON THE FRONT BUILD-TO LINE, 6'-0" FROM FRONT PROPERTY LINE. UPPER FLOORS MUST BE LOCATED ON THE FRONT BUILD-TO LINE. AT FIRST FLOOR, ENTRY MAY BE RECESSED, BUT THE WIDTH OF THE RECESS MAY NOT EXCEED 30% OF THE LOT WIDTH. OPEN PORCHES AND BALCONIES HAVE NO FRONT SETBACK.

FOR ALL LOTS EXCEPT H-G, SIDE BUILD-TO LINE ON ONE SIDE IS THE PROPERTY LINE; ON OTHER SIDE, OWNER MAY BUILD TO EITHER SIDE PROPERTY LINE OR TO BETWEEN 4'-0" AND 8'-0" FROM SIDE PROPERTY LINE. OWNER MAY SELECT WHICH SIDE TO USE AS THE BUILD-TO LINE.

AT LOT H-6, SIDE BUILD-TO LINE ON THE EAST SIDE IS THE EAST PROPERTY LINE. SIDE BUILD-TO ZONE ON THE WEST SIDE IS BETWEEN 5'-0" AND 8'-0" FROM THE WEST PROPERTY LINE. LOT OWNER GRANTS ADJACENT WEST PROPERTY OWNER A NON-EXCLUSIVE EASEMENT NOT TO EXCEED 3'-0" FOR ENCROACHMENTS INCLUDING ROOF OVERHANGS, DOWNSPOUTS, AND FOUNDATION FOOTINGS, AND FOR THE MAINTENANCE OF EXTERIOR AND GARDEN WALLS LOCATED ON PROPERTY LINE.

THE REAR SETBACK IS 5'-0" FOR PRINCIPAL BUILDING AND OUTBUILDINGS.

SITE AND BUILDING DESIGNS INVOLVING LOT CONSOLIDATION OF "FAMILY GROUP" LOTS WILL BE CAREFULLY EVALUATED TO ENSURE DESIGN MEETS INTENT OF THE ARAGON DESIGN CODE.

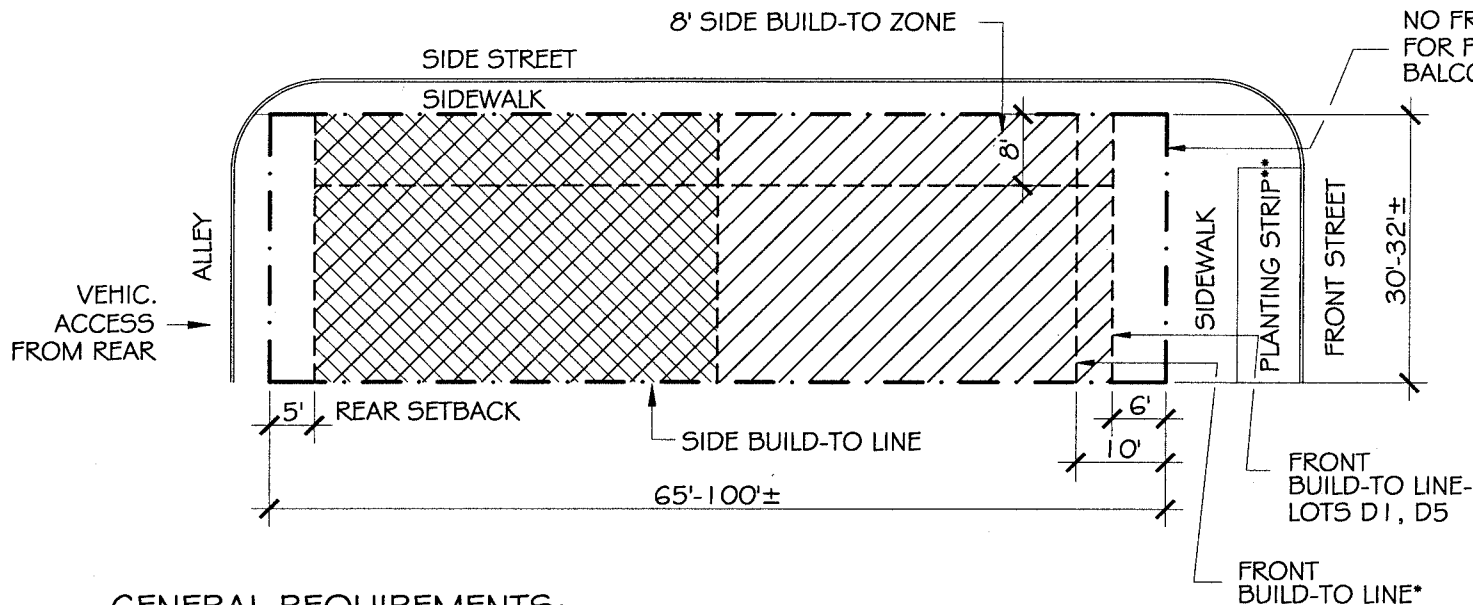
COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 80%.

OUTBUILDINGS AND PARKING MAY OCCUR  
AT THE REAR 1/2 OF THE LOT ONLY.

VEHICULAR ACCESS OCCURS FROM THE REAR ALLEY.



# SITING - CORNER LOTS TYPE VI - ROW HOUSE (GRD-1)



## LEGEND

- PRINCIPAL BUILDING BUILDABLE AREA
- OUTBUILDING BUILDABLE AREA

- \* EXCEPT LOTS NOTED OTHERWISE.
- \*\* NOTE: PLANTING STRIP OCCURS AT SOME LOCATIONS ONLY.

## GENERAL REQUIREMENTS:

FOR CORNER LOTS D-6, D-10, AND H-10, FRONT BUILDING WALL SHALL BE LOCATED ON THE FRONT BUILD-TO LINE, 10'-0" FROM THE FRONT PROPERTY LINE. FOR CORNER LOTS D-1 AND D-5, FRONT BUILDING WALL SHALL BE LOCATED ON THE FRONT BUILD-TO LINE, 6'-0" FROM THE FRONT PROPERTY LINE. UPPER FLOORS MUST BE LOCATED ON THE FRONT BUILD-TO LINE. AT FIRST FLOOR, ENTRY MAY BE RECESSED, BUT THE WIDTH OF THE RECESS MAY NOT EXCEED 30% OF THE LOT WIDTH. OPEN PORCHES & BALCONIES HAVE NO FRONT SETBACK.

SIDE BUILD-TO LINE ON ONE SIDE IS THE PROPERTY LINE; ON OTHER SIDE, OWNER MAY BUILD TO EITHER SIDE PROPERTY LINE OR TO BETWEEN 4'-0" AND 8'-0" FROM SIDE PROPERTY LINE. OWNER MAY SELECT WHICH SIDE TO USE AS THE BUILD-TO LINE. IF OWNER SELECTS INTERIOR LOT SIDE FOR BUILD-TO LINE, OWNER MAY BUILD TO ANYWHERE WITHIN 8'-0" FROM SIDE STREET SIDE PROPERTY LINE.

THE SIDE STREET FACADE SHALL EXTEND A MINIMUM OF 25% OF THE LOT LENGTH.

THE REAR SETBACK IS 5'-0" FOR PRINCIPAL BUILDINGS AND OUTBUILDINGS.

SITE AND BUILDING DESIGNS INVOLVING LOT CONSOLIDATION OF "FAMILY GROUP" LOTS WILL BE CAREFULLY EVALUATED TO ENSURE DESIGN MEETS INTENT OF THE ARAGON DESIGN CODE.

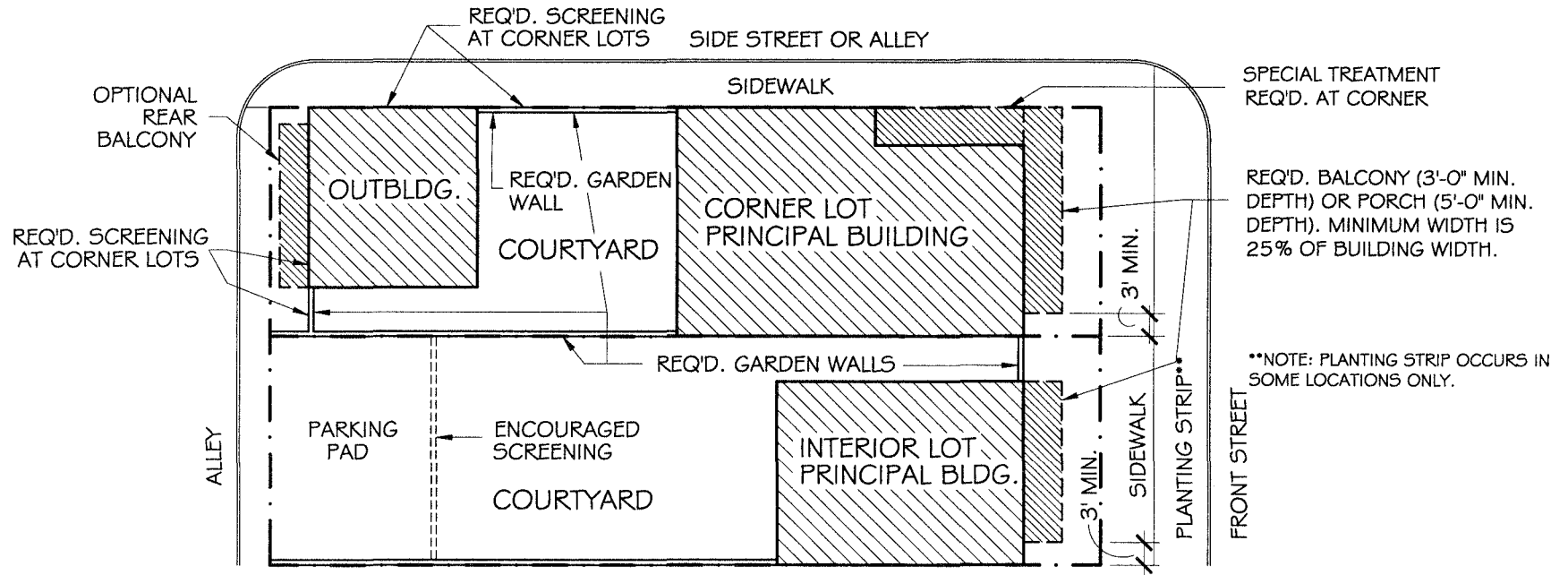
COURTYARDS AND REAR YARDS WITH PRIMARILY PERMEABLE MATERIALS ARE ENCOURAGED BETWEEN THE PRINCIPAL BUILDING AND OUTBUILDING OR PARKING PAD. THE MAXIMUM LOT COVERAGE OF IMPERMEABLE AREA IS 80%.

OUTBUILDINGS AND PARKING MAY OCCUR AT THE REAR 1/2 OF THE LOT ONLY.

VEHICULAR ACCESS OCCURS FROM THE REAR ALLEY.



# ARCHITECTURAL ELEMENTS TYPE VI - ROW HOUSE (GRD-1)



## GENERAL REQUIREMENTS:

### PORCHES AND BALCONIES

FIRST FLOOR FRONT PORCHES OR SECOND FLOOR FRONT BALCONIES ARE REQUIRED AT PRINCIPAL BUILDINGS. FRONT BALCONIES SHALL BE A MINIMUM OF 3'-0" DEEP AND FRONT PORCHES SHALL BE A MINIMUM OF 5'-0" DEEP. FRONT PORCHES AND BALCONIES SHALL NOT EXTEND BEYOND THE FRONT PROPERTY LINE. THE WIDTH SHALL BE AT LEAST 25% OF THE WIDTH OF THE BUILDING.

FRONT BALCONIES CANNOT BE LOCATED CLOSER THAN 3'-0" FROM THE SIDE PROPERTY LINE, EXCEPT AT SIDE STREET PROPERTY LINE AT CORNER LOTS.

CANTILEVERED REAR BALCONIES ARE ALLOWED TO ENCROACH INTO THE REAR SETBACK IF 8'-0" OF VERTICAL CLEARANCE IS PROVIDED.

OTHER PORCHES AND BALCONIES AT PRINCIPAL BUILDING AND OUTBUILDINGS ARE ALLOWED AND ENCOURAGED.

### DEFINED BUILDING CORNERS

AT CORNER LOTS, WELL DEFINED BUILDING CORNERS ARE REQUIRED. ATTENTION TO BOTH ELEVATIONS MUST BE CAREFULLY CONSIDERED. ACCEPTABLE BUILDING TREATMENTS INCLUDE A WRAPAROUND PORCH OR BALCONY.

### ADJOINING WALLS ON PROPERTY LINES

PROPERTY OWNERS ARE REQUIRED TO ALLOW ADJACENT BUILDINGS TO MAKE ALL NECESSARY CONNECTIONS INTO WALLS ON PROPERTY LINE FOR PROPER INSTALLATION OF FLASHING AND ALL RELATED WATERPROOFING MATERIALS. FLASHING SHOULD BE DETAILED WITH CAREFUL ATTENTION AND SHOULD NOT DETRACT FROM OVERALL AESTHETIC OF THE BUILDINGS.

### GARDEN WALLS AND SCREENING

GARDEN WALLS ARE REQUIRED ON SIDE PROPERTY LINES WHERE NO BUILDING WALL

IS BUILT EXCEPT: 1) AT REAR 5'-0" OF LOT, 2) AT CORNER LOTS ALONG SIDE PROPERTY LINE ADJACENT TO WRAPAROUND PORCH OR BALCONY, OR 3) WHEN ADJACENT PROPERTY OWNERS AGREE TO SHARE A COURTYARD.

AT INTERIOR LOTS, IF BUILDING WALL IS SETBACK FROM SIDE PROPERTY LINE, A GARDEN WALL WITH GATE IS REQUIRED AT FRONT BUILD-TO LINE. COURTYARDS ARE ENCOURAGED TO BE SCREENED FROM ALLEY BY OUTBUILDINGS, GARDEN WALLS, AND/OR LANDSCAPE SCREENING. TRASH RECEPTACLES MAY BE STORED IN REAR HALF OF LOT ONLY AND MUST BE SCREENED SO THEY ARE NOT VISIBLE EXCEPT FROM REAR ALLEY.

AT CORNER LOTS, GARDEN WALLS AND/OR OUTBUILDINGS ARE REQUIRED TO SCREEN REAR YARDS, PARKING, AND TRASH RECEPTACLES. TRASH RECEPTACLES MAY BE STORED IN REAR HALF OF LOT ONLY. GARDEN WALLS AT REAR MAY OCCUR ANYWHERE BETWEEN PROPERTY LINE AND SETBACK LINE.

### PRIVACY

CONSIDERATION SHOULD BE GIVEN TO SIGHT LINES FROM WINDOWS, PARTICULARLY ALONG SIDES OF BUILDINGS. EFFORTS SHOULD BE MADE TO CONFINE SIGHT LINES TO THE OWNER'S LOT.







# ARCHITECTURAL REVIEW PROCESS



## ARAGON ARCHITECTURAL REVIEW PROCEDURE

Several documents will be made available upon the purchase of property in Aragon. Each of these should be reviewed very carefully. As a group, they constitute the rules and procedures that must be followed. These documents include:

- Purchase and Sale Agreement (and any attachments and addenda thereto)
- Master Deed Restrictions
- Declaration of Charter, Easements, Covenants and Restrictions
- Aragon Design Code (this document)

This section is intended to clarify the procedure that members of the Aragon neighborhood will be required to follow to build, renovate, or add on to buildings in Aragon. By following the outline described here, what may seem like a difficult procedure will be streamlined and simplified.

The regulations described in this text must be followed to build in Aragon. Lot owners must submit all designs to the Aragon Architectural Review Board (AARB) to assure that all buildings within Aragon are built in accordance with the Design Code. The requirement for architectural review is established in a recorded instrument known as the Master Deed Restrictions. All improvements must be constructed in accordance with approved plans.

The AARB review will occur in three phases: Preliminary Review, Construction Document Review, and Final Inspection.

Preliminary Review and Construction Document Review occur before construction begins, while Final Inspection takes place when construction is complete. Forms for each submission are located in the Appendix.

After the AARB has completed Construction Document Review, one of two city review boards – depending on the location of the lot – must review and approve the plans. The development of Aragon is subject to two special districts' regulations: the Historic District and the Gateway Redevelopment District. The portion of Aragon which is south of Romana Street is within the Historic District, while the portion of Aragon which is north of Romana Street is within the Gateway Redevelopment District. Both of these districts have review boards and procedures which are in addition to those of Aragon.

Following the review by the applicable city review board and issuance of a Building Permit by the City of Pensacola Building Department, the "Notice to Proceed Application Form" must be submitted to the AARB. This form is the final assurance to the AARB that all the approvals required by the City of Pensacola have been received. Attached to the form will be a copy of the Building Permit and the contractor's construction deposit check.

When construction is complete, the AARB's approval for final inspection must be obtained before the City of Pensacola issues a Certificate of Occupancy.



**Lot owners are strongly encouraged to seek professional assistance in designing the buildings and site, in meeting the requirements of the Aragon Design Code, in preparing the submittals for the AARB and the city review boards, and in meeting the requirements of the city's ordinances and building codes.**

All items submitted to the AARB must be submitted in triplicate and mailed or delivered to:

Aragon Architectural Review Board  
105 E. DeSoto St.  
Pensacola, FL 32501

Please clearly identify the submission as for "Aragon," and give the block and lot number, owner's name, owner's representative, and the date mailed or delivered.

### **I. Preliminary Review**

The primary purpose of the Preliminary Review is to assure that the architect or designer and owner understand the Aragon Design Code and that the proposed buildings are being designed following the Aragon Design Code. This review will take place early in the design process so that if changes need to be made, costs to the owner should be at a minimum. A clear understanding at this time will greatly simplify future reviews and potential conflicts. Following this review, the AARB will mark the drawings as "approved," "approved as noted," "disapproved," or "returned due to insufficient documentation." One set of drawings will be returned to the owner with the AARB comments.

Included in the Preliminary Review submission package by the owner should be the following:

- Preliminary Review Application Form.
- Drawings:
  - A. Area Site Plan at 1/16"= 1'-0" or 1"= 20'-0" scale indicating proposed buildings and site improvements in relation to all adjacent neighbors' property.
  - B. Site Plan at 1/8"= 1'-0" or 1"= 10'-0" scale, showing the following:
    - Property lines with all setbacks, build-to lines, and build-to zones clearly dimensioned.
    - North arrow.
    - Adjacent street(s) and alley(s).
    - Building footprint(s), with all steps, decks, porches, fences, garden walls, and overhangs clearly identified.
    - Parking, driveways, and walkways with dimensions.
    - Suggested landscaping, if any at this time, including any trees that may be subject to removal due to building layout.
    - Lot Coverage Calculation based on area covered by all impermeable surfaces divided by the area of lot.
    - All utilities, utility connections & meters.
  - C. Floor Plans at 1/8"= 1'-0", 3/16"= 1'-0", or 1/4"= 1'-0" scale with square footage indicated.



**D.** Elevations, scale to match floor plan, showing the following:

- Porches, balconies, doors, and windows.
- Principal materials, drawn & specified.
- Floor to floor heights.
- Window head heights.
- Building height and 1<sup>st</sup> floor elevation relative to adjacent grade.
- Pitch of all roofs.

- Photographs of adjacent lot improvements, if any.
- Variances: If any variances to the Aragon Design Code are being applied for, a written description should be submitted at this time. Additionally, a justification for the variance should be submitted based on architectural merit or demonstrated hardship. The portion of the design affected by the variance should be denoted on the drawings listed above.

## **II. Construction Document Review**

This review is the final review by the AARB prior to the commencement of construction. It is also the final review prior to any submissions that may be made to the Architectural Review Board or the Gateway Review Board. It is the hope of the AARB that a successful submission at this point would secure approval from these city boards. However, Aragon cannot guarantee that AARB approval of submissions will be viewed favorably by the review boards of the Historic District or Gateway Redevelopment District. In addition, the AARB review is for aesthetic purposes only and in no way assures conformity to applicable building codes or regulations, which

are the responsibility of the architect or designer, contractor, and the owner.

The primary purpose of this review is to verify that the construction documents comply with the Aragon Design Code and to verify that recommendations made at the Preliminary Review have been incorporated into the final drawings. It is advisable not to solicit any final pricing prior to the completion of this review and any others that may be required by city review boards.

Following this review by the Aragon Architectural Review Board, the AARB will mark the drawings as “approved,” “approved as noted,” “disapproved,” or “returned due to insufficient documentation.” One set of drawings will be returned to the owner with the AARB comments.

Included in the Construction Document Review submission package by the owner should be the following:

- Preliminary Review Application Form (indicating approval by the Aragon Architectural Review Board).
- Construction Document Review Application Form.
- Exterior Materials Schedule Form.
- Drawings:
  - A. Area Site Plan at 1/16”= 1’-0” or 1”= 20’-0” scale indicating proposed buildings and site improvements in relation to all adjacent neighbors’ property.



- B. Site Plan** at 1/8"= 1'-0" or 1"= 10'-0" scale, showing the following:
- Property lines with all setbacks, build-to lines, and build-to zones clearly dimensioned.
  - North arrow.
  - Adjacent street(s) and alley(s).
  - Building footprint(s), with all steps, decks, porches, fences, garden walls, and overhangs clearly identified.
  - Parking, driveways, and walkways with dimensions.
  - Lot Coverage Calculation based on area covered by all impermeable surfaces divided by the area of lot.
  - All utilities, utility connections & meters.
  - Drainage Plan showing drainage flow on site with finish grades, downspout locations, and method of controlling drainage during construction.
- C. Floor Plans** at 1/8"= 1'-0", 3/16"= 1'-0", or 1/4"= 1'-0" scale, showing the following:
- Rooms fully dimensioned & labeled.
  - All windows.
  - All doors with swings.
  - All overhangs or openings above shown as dashed lines.
  - Overall dimensions, with square footage for each unit, each building, each use, and the total.

- D. Elevations** at 1/8"= 1'-0", 3/16"= 1'-0", or 1/4"= 1'-0" scale, showing the following:
- Porches, balconies, doors, windows, gutters, and downspouts.
  - Principal materials, drawn & specified.
  - Floor to floor heights.
  - Window head heights.
  - Building height and first floor elevation relative to adjacent grade.
  - Pitch of all roofs.
  - Any related special features.
- E. Details** at 3/4"= 1'-0", 1"= 1'-0", or 1-1/2"= 1'-0" scale, showing the following:
- Wall sections including gables & eaves.
  - Typical door & window head, jamb and sill.
  - Porches.
  - Others as required by the AARB.
- F. Landscape Plan** at 1/8"= 1'-0" or 1"= 10'-0" scale, showing the following:
- Property lines.
  - North arrow.
  - Building footprint(s), with all steps, decks, porches, fences, garden walls, and overhangs clearly identified.
  - Parking, driveways, and walkways with dimensions.
  - Existing trees to remain.
  - Existing trees to be removed (if any approved in Preliminary Review).

list continued>>



- All shrubs and new plants drawn and identified by type and size.
  - All areas to receive sod or grass.
  - Irrigation system.
- For speculative buildings by contractors, interior layout and finishes will be reviewed. Additional drawings include:
    - Interior Elevations of all primary spaces with all materials and finishes clearly labeled.
    - Building and Wall Sections.
    - Finish schedule.
    - Door and Window Schedules.
    - Other information as required by the AARB.
  - Photographs of adjacent lot improvements, if any.
  - Variances: If approved at Preliminary Review, any variances to the Aragon Design Code should be clearly delineated in the construction documents. If further variances to the Aragon Design Code are being applied for or if variances to the City of Pensacola's *Land Development Code* will be applied for, a written description should be submitted at this time. Additionally, a justification for the variance should be submitted based on architectural merit or demonstrated hardship. The portion of the design affected by the variance should be denoted on the drawings listed.

At the option of the AARB, the owner may be asked for additional information or to lay out the perimeter of the proposed building(s) on site for further review of the planned structure(s). Additionally, fences, garden walls, and any other

site-related improvements planned in the Construction Documents may require site layout.

### **III. Notice to Proceed Application**

The Notice to Proceed Application is made to the AARB following the issuance of a Building Permit by the City of Pensacola.

Included in the Notice to Proceed Application package by the owner should be the following:

- Construction Document Review Application Form (indicating approval by the AARB).
- Exterior Materials Schedule Form (indicating approval by the AARB).
- The Notice to Proceed Application.
- The contractor's construction deposit.
- Copy of all the City of Pensacola Building Permits issued for the construction of proposed building(s).
- Copy of approval and any changes required by city review boards or departments since approval of Construction Documents by the AARB. Note that any changes must be approved by the AARB.



#### **IV. Modification of Approved Plans and Specifications**

Sometimes during construction an owner, architect, or contractor will identify ways of improving a design. In addition, availability of materials or other factors may necessitate a change in the approved specifications. Any modification to the approved plans and specifications must be reviewed and approved by the AARB. **Please note that these types of changes also may need review by the Architectural Review Board or the Gateway Review Board.**

Before implementing any changes to the approved plans and specifications, the owner or contractor must notify the AARB by filing the following:

- Minor Change in the Work Application Form.
- Revised elevation(s), floor plan(s), specifications, and/or site plan as required.

#### **V. Request for Final Inspection**

Final Inspection heralds the end of the project and serves as the final review for compliance with all the requirements defined in the Aragon Design Code. It is also at this time that all site-related damage (if any has occurred) must be repaired and put back in good order, and the contractor and owner certify that such work has been accomplished. Please note that the owner and contractor may be required to use Aragon's contractor to replace or repair site-related damage in order for work to look consistent.

This final application, if approved, will serve as the request by the contractor for the return of construction deposit held by the AARB.

The notification process will require the filing of the following with the AARB:

- Final Inspection Application Form.

Please note that the Final Inspection Application Form, approved by the AARB, will be required by the City of Pensacola in order for the City to issue a Certificate of Occupancy.



## **ARAGON DESIGN REVIEW POLICY**

### **AARB**

The Aragon Architectural Review Board shall consist of the Neighborhood Architect and two members appointed by the Aragon Neighborhood Association, Inc.

### **Scope of Responsibility**

The Aragon Architectural Review Board has the right to exercise control over all construction at Aragon. The AARB will also review all changes and modifications to structures after initial construction is completed, including, but not limited to, painting, renovations, and landscaping.

### **Review Policy**

The AARB reviews all submissions made by owners and grants either approval, approval as noted, or disapproval. The owner will be notified of the decision in writing within 30 days from the date of receipt. One set of plans will be returned with comments. If the AARB does not respond to the owner within 30 days, the application shall not be deemed approved. The AARB may deny approval because the application is incomplete or inadequate. If approval is not granted, a revised application may be submitted and reviewed in the same fashion as the initial application.

### **Review Fees**

The AARB will establish review fees.

### **Variances**

Any variance granted shall be considered unique and not set precedent for future decisions. Variances can be granted based on architectural merit or demonstrated hardship.

### **Approved Architects, Designers, and Contractors**

All architects, designers, and contractors must be approved by the AARB prior to commencement of design and construction. A list of pre-approved architects and contractors is available. Architects, designers, or contractors may be removed from the list at the discretion of the AARB.

### **Construction Deposit**

A construction deposit is required from the contractor for each lot. The AARB shall hold the deposit until the Final Inspection Application Form is submitted and a final field inspection is made and approved by the AARB. Full compliance will result in the return of the construction deposit. If the deposit is required to repair, replace, or clean up common areas that are damaged due to construction, the contractor will be notified prior to the use of the deposit.

### **Construction Inspection**

The AARB may make periodic inspections while construction is in progress to determine compliance with the approved plans and specifications. The AARB and the Aragon Group at Pensacola, Inc., has the right to enforce its policies as set forth in the Aragon Design Code, the Master Deed Restrictions, and the Declaration of Charter, Easements, Covenants and Restrictions,





by any action, including an action in a court of law, to ensure its compliance.

### **Power to Enforce**

Should a violation occur, The AARB and the Aragon Group at Pensacola, Inc. has the right to enforce the code by legal action, including injunctive relief, which requires the owner to stop, remove, and/or alter any improvement in a manner that complies with the standards established by Aragon. Approval by the AARB does not relieve an owner of his or her obligation to obtain any government or governmental board approvals or permits. If such approvals are required and are not obtained by the owner, the AARB and/or the applicable government agency may take whatever actions are necessary against the owner to force compliance.

### **Limitations of Responsibility**

The main purpose of the AARB is to review submitted material in order to determine if the proposed construction meets the Aragon Design Code. The AARB does not assume any responsibility for structural integrity, existing site and soil conditions, governmental requirements, compliance with building codes or ordinances, and the work of the owner's architect, designer, engineer, or contractor.



## CITY OF PENSACOLA'S REVIEW PROCEDURE

All individuals building in the City of Pensacola's overlying zoning districts are strongly encouraged to seek professional design support in preparing their documents and to work with architects and contractors familiar with building within these districts.

### The Architectural Review Board

The Architectural Review Board has jurisdiction of HC-1 and HR-2 zoned areas, located south of Romana Street (see map p. 77). The ARB has the unique task of administering the growth of a historical district that has National Register status. Several buildings one and two blocks away from Aragon are over 100 years old, and in some cases 200 years old. Anyone building within HC-1 or HR-2 zones will be adding buildings to this nationally registered area. Consequently, the review by this board can be quite thorough.

This review board consists of two architects, two members from the Historic Pensacola Preservation Board of Trustees, the chairman of the planning board, a city resident, and a county resident.

The ARB meets once per month on the third Thursday of the month. All materials required by the board must reach the Secretary to the Board, 5<sup>th</sup> Floor, City Hall by the first Thursday of the month.

Application forms and guidelines for submission are available from the Secretary to the Board in the City Planning office, 5<sup>th</sup> Floor, City Hall.

### The Gateway Review Board

The Gateway Review Board has jurisdiction of GRD-1 zoned areas, located north of Romana Street. The City of Pensacola's *Land Development Code* describes the purpose of this board as being "... to promote the orderly redevelopment of the southern gateway to the city in order to enhance its visual appearance, preserve a unique shoreline vista, improve traffic safety, and encourage a high quality of site planning and architectural design."

This review board consists of three district property owners and four members not owning property in the district, three of which can be architects, engineers, or contractors, and one member at large. A smaller three member board has been put in place to review Aragon submissions.

The Gateway Review Board meets monthly on the second Tuesday of the month. All materials required by the board must reach the City of Pensacola Planning Director at least nine working days prior to the meeting of the board.

Application forms and guidelines for submission are available from the Planning Director in the City Planning office, 5<sup>th</sup> Floor, City Hall.





# APPENDIX



## Preliminary Review Application Form

Owner: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Architect or Designer: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Contractor: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Block \_\_\_\_\_ Lot \_\_\_\_\_ Building Style \_\_\_\_\_

Check List of required documents:

☐ Preliminary Review Application Form (this form).

Drawings:

☐ Area Site Plan at 1/16"= 1'-0" or 1"= 20'-0" scale indicating proposed building and site improvements in relation to all adjacent neighbors' property.

☐ Site Plan at 1/8"= 1'-0" or 1"= 10'-0" scale, showing the following:

- ☐ Property lines with all setbacks, build-to lines, and build-to zones clearly dimensioned.
- ☐ North arrow.
- ☐ Building footprint(s), with all steps, decks, porches, fences, garden walls, and overhangs clearly identified.
- ☐ All adjacent street(s) and alley(s).
- ☐ Parking, driveways, and walkways with dimensions.
- ☐ Suggested landscaping, if any at this time.
- ☐ Lot coverage calculation.
- ☐ Utilities, utility connections, & meters

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- ☐ Floor Plans at 1/8"= 1'-0", 3/16"= 1'-0", or 1/4"= 1'-0" scale, showing the following:
  - ☐ Square footage for each unit, each use, and the total.
- ☐ Elevations, scale to match floor plan, showing the following:
  - ☐ Porches, balconies, doors, and windows.
  - ☐ Principal materials, drawn & specified.
  - ☐ Floor to floor heights.
  - ☐ Window head heights.
  - ☐ Building height and first floor elevation relative to adjacent grade.
  - ☐ Pitch of all roofs.
- ☐ Photographs of adjacent site improvements, if any.
- ☐ Variances: If any variances to the Aragon Design Code are being applied for, a written description should be submitted at this time. Additionally, a justification for the variance should be submitted based on architectural merit or demonstrated hardship. The portion of the design affected by the variance should be denoted on the drawings listed above.
- ☐ Review fee (if not previously paid).

All items submitted to the Aragon Architectural Review Board (AARB) must be submitted in triplicate and mailed or delivered to:

Aragon Architectural Review Board  
105 E. DeSoto St.  
Pensacola, FL 32501

Please clearly identify your submissions as for "Aragon," and give your block and lot number, owner's name, owner's representative, and the date mailed or delivered.

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## Construction Document Review Application Form

Owner: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Architect or Designer: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Contractor: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Block \_\_\_\_\_ Lot \_\_\_\_\_ Building Style \_\_\_\_\_

### Check List of required documents:

- ☐ Preliminary Review Application Form stamped "Approved" by AARB.
- ☐ Construction Document Review Application Form (this form).
- ☐ Exterior Materials Schedule Form.

### Drawings:

- ☐ Area Site Plan at 1"= 16'-0" or 1"= 20'-0" scale including proposed building and site improvements in relation to all adjacent neighbors' property.
- ☐ Site Plan at 1/8"= 1'-0" or 1"= 10'-0" scale, showing the following:
  - ☐ Property lines with all setbacks clearly dimensioned.
  - ☐ North arrow.
  - ☐ All adjacent street(s) and alley(s)
  - ☐ Building footprint(s), with all steps, decks, porches, fences, garden walls, and overhangs clearly identified.
  - ☐ Parking, driveways, and walkways with dimensions.
  - ☐ Landscape elements or other site structures affecting the layout of the building, such as gazebos, arbors, pergolas, etc.
  - ☐ Drainage plan.
  - ☐ Lot coverage calculation.
  - ☐ Utilities, utility connections, & meters.

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- ☐ Landscape Plan at 3/16"= 1'-0" or 1/4"= 1'-0" scale, showing the following:
  - ☐ Property lines.
  - ☐ North arrow.
  - ☐ Building footprint(s), with all steps, decks, porches, fences, garden walls, and overhangs clearly identified.
  - ☐ Parking, driveways, and walkways with dimensions.
  - ☐ Landscape elements or other site structures affecting the layout of the building, such as gazebos, arbors, pergolas, etc.
  - ☐ Existing trees to remain.
  - ☐ Existing trees to be removed, if any are permitted.
  - ☐ All new trees, shrubs, and plant material drawn and identified by type.
  - ☐ All areas to receive sod or grass identified.
  - ☐ Irrigation system drawn and identified.
  
- ☐ Floor Plans at 3/16"= 1'-0" or 1/4"= 1'-0" scale, showing the following:
  - ☐ Rooms fully dimensioned & labeled.
  - ☐ All windows.
  - ☐ All doors with swings.
  - ☐ All overhangs or openings above shown as dashed lines.
  - ☐ Overall dimensions, with total square footage.
  
- ☐ Roof Plan at at 3/16"= 1'-0" or 1/4"= 1'-0" scale, showing the following:
  - ☐ All roof features drawn and specified, including towers, widows' walks, cupolas, chimneys, skylights, and vents.
  
- ☐ Elevations at 3/16"= 1'-0" or 1/4"= 1'-0" scale, showing the following:
  - ☐ Porches, balconies, doors, windows, gutters and downspouts.
  - ☐ Principal materials, drawn & specified.
  - ☐ Floor to floor heights.
  - ☐ Window head heights.
  - ☐ Building height and first floor elevation relative to adjacent grade.
  - ☐ Pitch of all roofs.
  - ☐ Any special features.





- ☐ Details at 3/4"= 1'-0", 1"= 1'-0", or 1-1/2"= 1'-0" scale, showing the following:
  - ☐ Wall sections showing gables & eaves.
  - ☐ Typical door & window head, jamb & sill.
  - ☐ Porches.
  - ☐ Others as required by the AARB.
- ☐ Any exterior electronic equipment including, but not limited to, satellite dishes, antennas, and cameras to be drawn and specified.
- ☐ Photographs of adjacent site improvements, if any.
- ☐ Review fee (if not previously paid).
- ☐ Variances: If any variances to the Code are being applied for, a written description should be submitted at this time. Additionally, a justification for the variance should also be submitted based on architectural merit or demonstrated hardship. The portion of the design affected by the variance should also be denoted on the drawings listed above.

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For Speculative Buildings only:

- ☐ Interior Elevations of all primary spaces with all materials and finishes clearly labeled.
- ☐ Building and Wall Sections.
- ☐ Door and Window Schedules.
- ☐ Hardware Schedule.
- ☐ Others as required by the AARB.

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105 E. DeSoto St.  
Pensacola, FL 32501

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## Exterior Materials Schedule Form

Block \_\_\_\_\_ Lot \_\_\_\_\_ Building Style \_\_\_\_\_

### Elements:

### Description:

Primary Exterior Finish(es) \_\_\_\_\_

Foundation Walls or Piers \_\_\_\_\_

Foundation Wall Screening \_\_\_\_\_

Windows \_\_\_\_\_

Window Trim \_\_\_\_\_

Entry Door and Hardware \_\_\_\_\_

Doors and Hardware \_\_\_\_\_

Door Trim \_\_\_\_\_

Garage Doors \_\_\_\_\_

Porch Balustrade \_\_\_\_\_

Porch Columns \_\_\_\_\_

Porch Column Brackets \_\_\_\_\_

Porch Decking \_\_\_\_\_

Ornament \_\_\_\_\_

### Elements:

### Description:

Fascias \_\_\_\_\_

Soffits \_\_\_\_\_

Gutters & Downspouts \_\_\_\_\_

Roofing \_\_\_\_\_

Chimneys \_\_\_\_\_

Other Rooftop Elements \_\_\_\_\_

Exterior Lighting \_\_\_\_\_

Shutters \_\_\_\_\_

Walkways \_\_\_\_\_

Driveways \_\_\_\_\_

Fencing \_\_\_\_\_

Garden Walls \_\_\_\_\_

Gates \_\_\_\_\_

Landscaping \_\_\_\_\_

Signage \_\_\_\_\_

Miscellaneous \_\_\_\_\_

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Pensacola, FL 32501

Please clearly identify your submissions as for "Aragon," and give your block and lot number, owner's name, owner's representative, and the date mailed or delivered.



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## Notice to Proceed Application Form

Owner: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Architect or Designer: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Contractor: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Block \_\_\_\_\_ Lot \_\_\_\_\_ Building Style \_\_\_\_\_

### Check List of required documents:

- ☐ Notice to Proceed Application Form (this form).
- ☐ Building Permits as required from the City of Pensacola.
- ☐ Construction Document Review Form, stamped "Approved" by AARB.
- ☐ Exterior Materials Schedule Form, stamped "Approved" by AARB.
- ☐ Construction Deposit Check, made payable to the Aragon Group at Pensacola, Inc.

As a contractor in Aragon, I certify that I have read and understand the rules of construction as prescribed by the "Information for Contractors," "Contractor Agreement," and the "Aragon Design Code," and will fully comply with these rules.

Contractor: \_\_\_\_\_ Date \_\_\_\_\_

All items submitted to the Aragon Architectural Review Board (AARB) must be submitted in triplicate and mailed or delivered to:

Aragon Architectural Review Board  
105 E. DeSoto St.  
Pensacola, FL 32501

Please clearly identify your submissions as for "Aragon," and give your block and lot number, owner's name, owner's representative, and the date mailed or delivered.

21 July 1999



## Minor Change in the Work Application Form

Owner: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Architect or Designer: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Contractor: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Block \_\_\_\_\_ Lot \_\_\_\_\_ Building Style \_\_\_\_\_

I hereby request the following change be made to my previously approved submissions to the AARB:

Check List of required documents:

- ☐ Minor Change in the Work Application Form (this form).  
☐ Description of change:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

☐ Supporting Documents, if required: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

All items submitted to the Aragon Architectural Review Board (AARB) must be submitted in triplicate and mailed or delivered to:

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105 E. DeSoto St.  
Pensacola, FL 32501

Please clearly identify your submissions as for "Aragon," and give your block and lot number, owner's name, owner's representative, and the date mailed or delivered.

21 July 1999



## Final Inspection Application Form

Owner: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Architect or Designer: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Contractor: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Block \_\_\_\_\_ Lot \_\_\_\_\_ Building Style \_\_\_\_\_

### Check List:

- ☐ Final Inspection Application Form (this form).  
☐ Review Fee (if not previously paid).

As the Contractor of the above Project, I hereby certify that all construction rendered by me is in compliance with the Aragon Design Code and all documents approved by the AARB. All corrective work to existing infrastructure, including, but not limited to, walkways, landscaping, utilities, public rights-of-way, and common areas has been completed and such repairs have rendered this infrastructure to "like new" condition. This application stands as a formal request for the return of all Construction Deposit monies held by the AARB.

Contractor: \_\_\_\_\_ Date: \_\_\_\_\_

I, the Owner, approve the return of the Construction Deposit to the Contractor.

Owner: \_\_\_\_\_ Date: \_\_\_\_\_

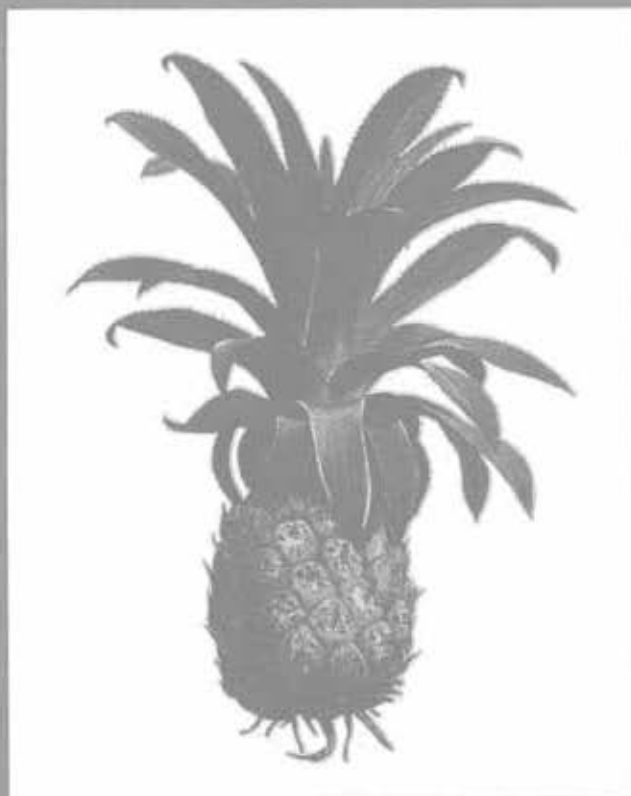
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Aragon Architectural Review Board  
105 E. DeSoto St.  
Pensacola, FL 32501

Please clearly identify your submissions as for "Aragon," and give your block and lot number, owner's name, owner's representative, and the date mailed or delivered.

21 July 1999





THE ARAGON GROUP at PENSACOLA, INC.  
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